

Site Plans

Issued for	Local Approvals
Date Issued	April 15, 2016
Latest Issue	April 15, 2016

Northside Meadows: Assisted Living Facility

518 Pleasant Street
Framingham, Massachusetts

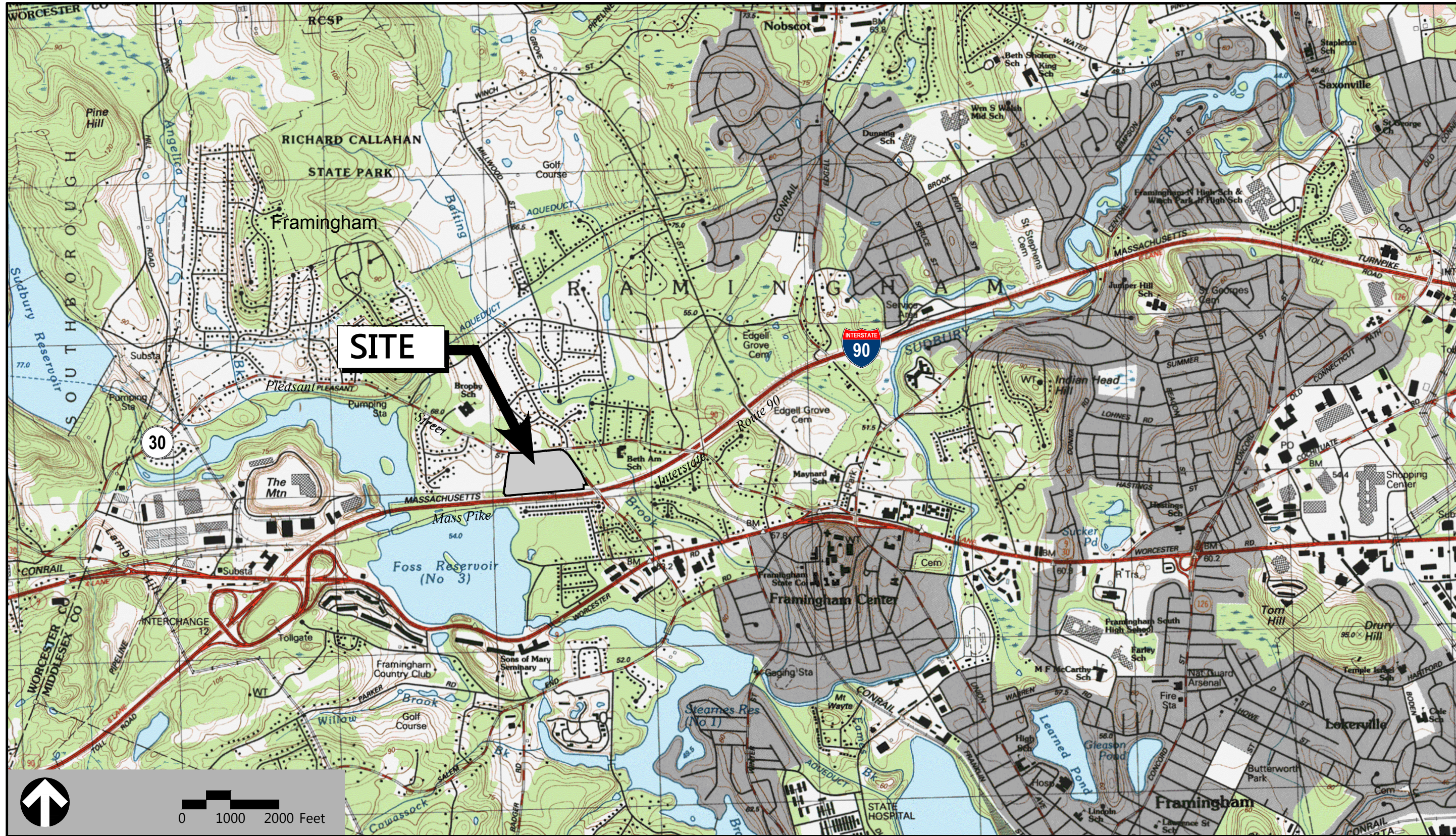
Owner

Brendon Properties Northside Meadows, LLC
259 Turnpike Road
Suite 110
Southborough, Massachusetts 01772

Applicant

Benchmark Senior Living
201 Jones Road - Third Floor West
Waltham, Massachusetts 02451

Assessor's Map: 458
Block: 6
Lot: 4



Sheet Index			Reference Drawings		
No.	Drawing Title	Latest Issue	No.	Drawing Title	Latest Issue
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C-2.2	Master Site Plan	April 15, 2016	3	Existing Conditions Plan	December 1, 2015
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C-4	Grading, Drainage, and Erosion Control Plan	April 15, 2016	PH.02	Site Lighting Specification Sheets	January 5, 2016
C-5	Utility Plan	April 15, 2016	A4	Exterior Elevations	April 18, 2016
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L-1.1	Planting Plan	April 15, 2016			
L-1.2	Planting Details	April 15, 2016			

vhb.com



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Environmental

EcoTec, Inc.
102 Grove Street
Worcester, MA 01605
508-752-9666 ext. 25

Survey

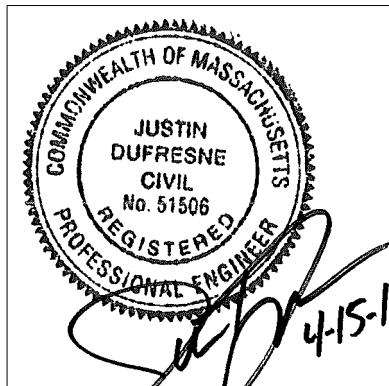
Kelly Engineering Group, Inc.
0 Campanelli Drive
Braintree, MA 02184
781.843.4333

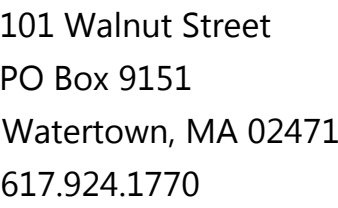
Architect

Udelsman Associates
161 Federal Hill Road
Hollis, New Hampshire 03049
603-465-6960

Geotechnical

GeoInsight
186 Granite Street
3rd Floor Suite A
Manchester, NH 03101-2643
603-314-0820





1. PROPERTY BOUNDARIES IMPORTED FROM MASS GIS DATALAYERS. MOST RECENT DATA AVAILABLE FROM FISCAL YEAR 2012.
2. PROPERTY INFORMATION FROM TOWN OF FRAMINGHAM ASSESSOR'S ONLINE DATABASE ACCESSED ON MARCH 10, 2016.
3. ZONING BOUNDARIES APPROXIMATED USING TOWN OF FRAMINGHAM ZONING MAP REVISED FEBRUARY 1, 2007.

THIS ENDORSEMENT OF THE PLANNING BOARD
SHOULD NOT BE CONSTRUED TO BE
DETERMINATION OF CONFORMANCE WITH
ZONING REGULATIONS.

518 Pleasant Street
Framingham, Massachusetts

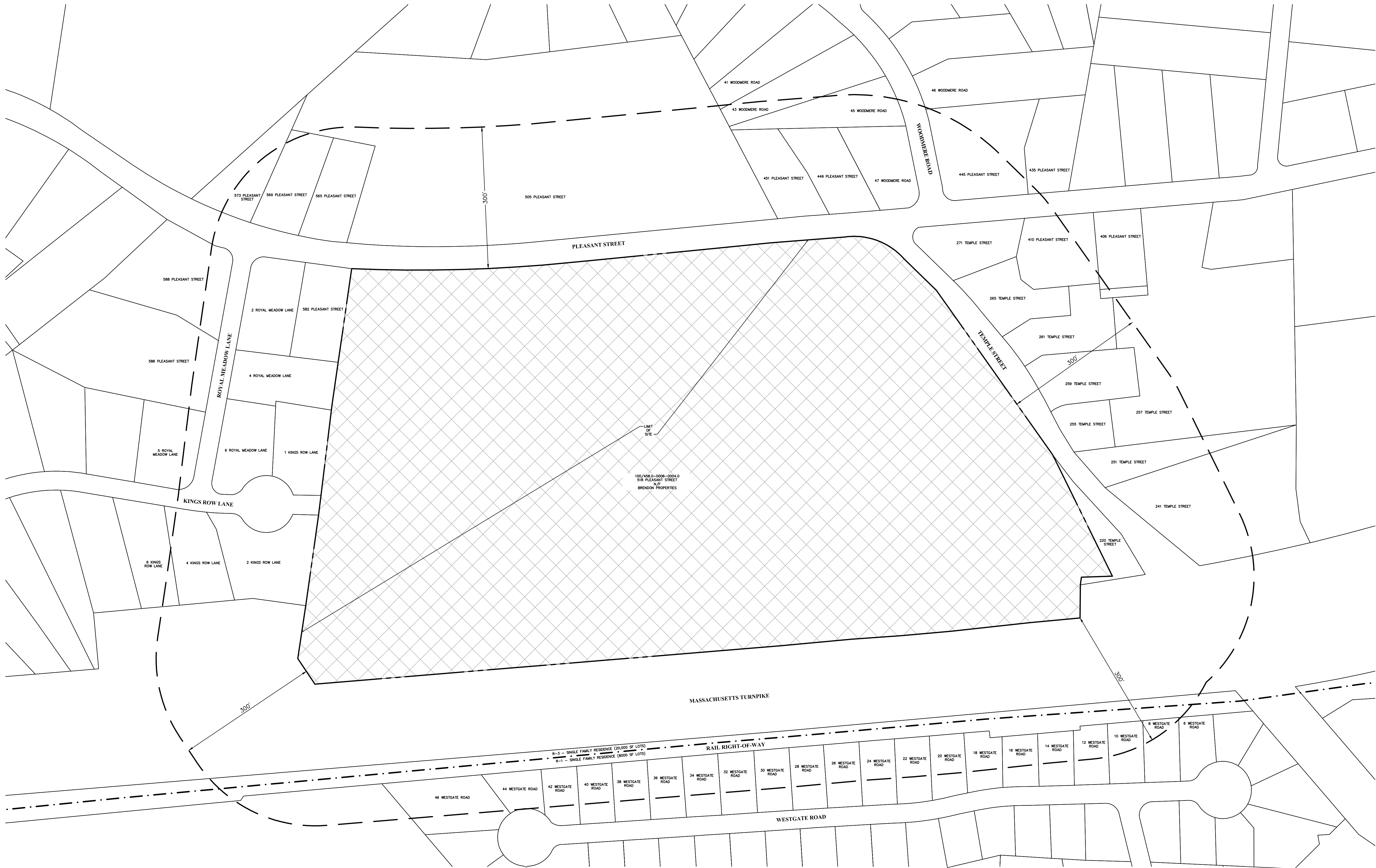
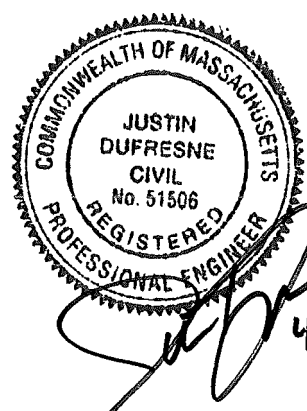
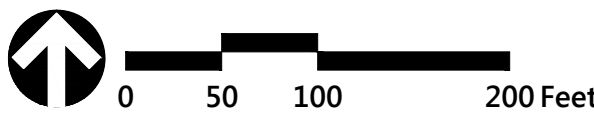
Designed by	BMG	Checked by	JWD
Issued for		Date	

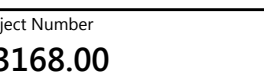
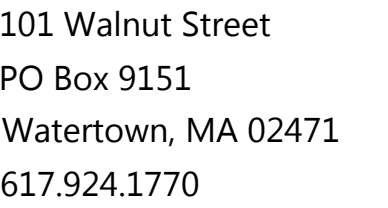
April 15, 2016

Abutter's Plan

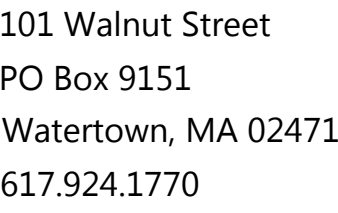
C-2.1

Project Number
13168.00

[illegible]



Following Number



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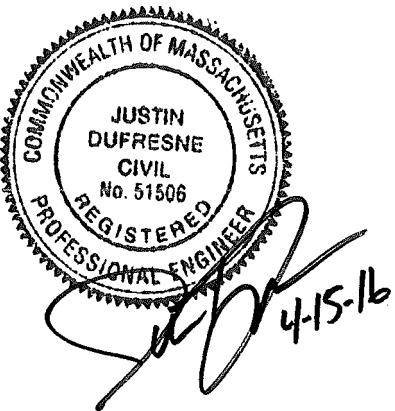
No.	Revision	Date	Appvd.

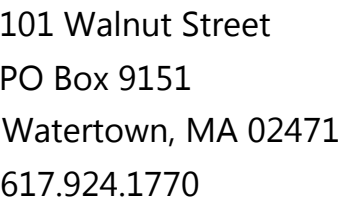
Local Approvals April 15, 2016

Drawing Number

Sheet 4 of 11

Project Number
13168.00





Infiltration Area Protection During Construction
FOR THE LONG-TERM FUNCTION OF THE INFILTRATION BASIN(S)/STRUCTURE(S), CARE SHALL BE TAKEN IN THE INFILTRATION AREAS DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMPs):

1. INFILTRATION AREAS SHALL NOT BE USED AS TEMPORARY CONSTRUCTION SEDIMENTATION BASINS WITHOUT THE PRIOR APPROVAL OF THE ENGINEER. IF INFILTRATION AREAS ARE USED AS TEMPORARY SEDIMENTATION BASINS DURING CONSTRUCTION, THEN THE SOILS SURFACE SHALL BE EXCAVATED TO A MINIMUM OF 2' FROM THE TEMPORARY BASIN BOTTOM TO REMOVE CLOGGED SOILS.
2. STORMWATER RUNOFF FROM EXPOSED SURFACES SHALL BE DIRECTED AWAY FROM THE INFILTRATION AREAS DURING CONSTRUCTION.
3. CONSTRUCTION EQUIPMENT, VEHICULAR TRAFFIC, AND TRAILERS OF VEHICLES, STOCKPILING MATERIALS SHALL BE LOCATED OUTSIDE OF THE INFILTRATION AREAS.
4. EXCAVATION FOR CONSTRUCTION OF THE INFILTRATION BASIN(S)/STRUCTURE(S) SHALL ENSURE THAT THE SOIL AT THE BOTTOM OF THE EXCAVATION IS NOT COMPACTED OR SMEARED.
5. THE PERIMETER OF THE INFILTRATION AREAS SHALL BE STAKED AND FLAGGED TO PREVENT THE USE OF THE AREA FOR ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION ABILITY OF THE SYSTEM.

CONTRACTOR SHALL INSTALL AND MAINTAIN SILT SACKS IN ALL EXISTING AND PROPOSED CATCH BASINS AND LANDSCAPE DRAINS ON-LINE DURING CONSTRUCTION (TYP).

FRAMINGHAM PLANNING BOARD
DEFINITIVE DEVELOPMENT PLAN APPROVALS

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ZONING REGULATIONS.

518 Pleasant Street
Framingham, Massachusetts

No.	Revision	Date	Appvd
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Designed by	MEO	Checked by	JWD
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Local Approvals April 15, 2016

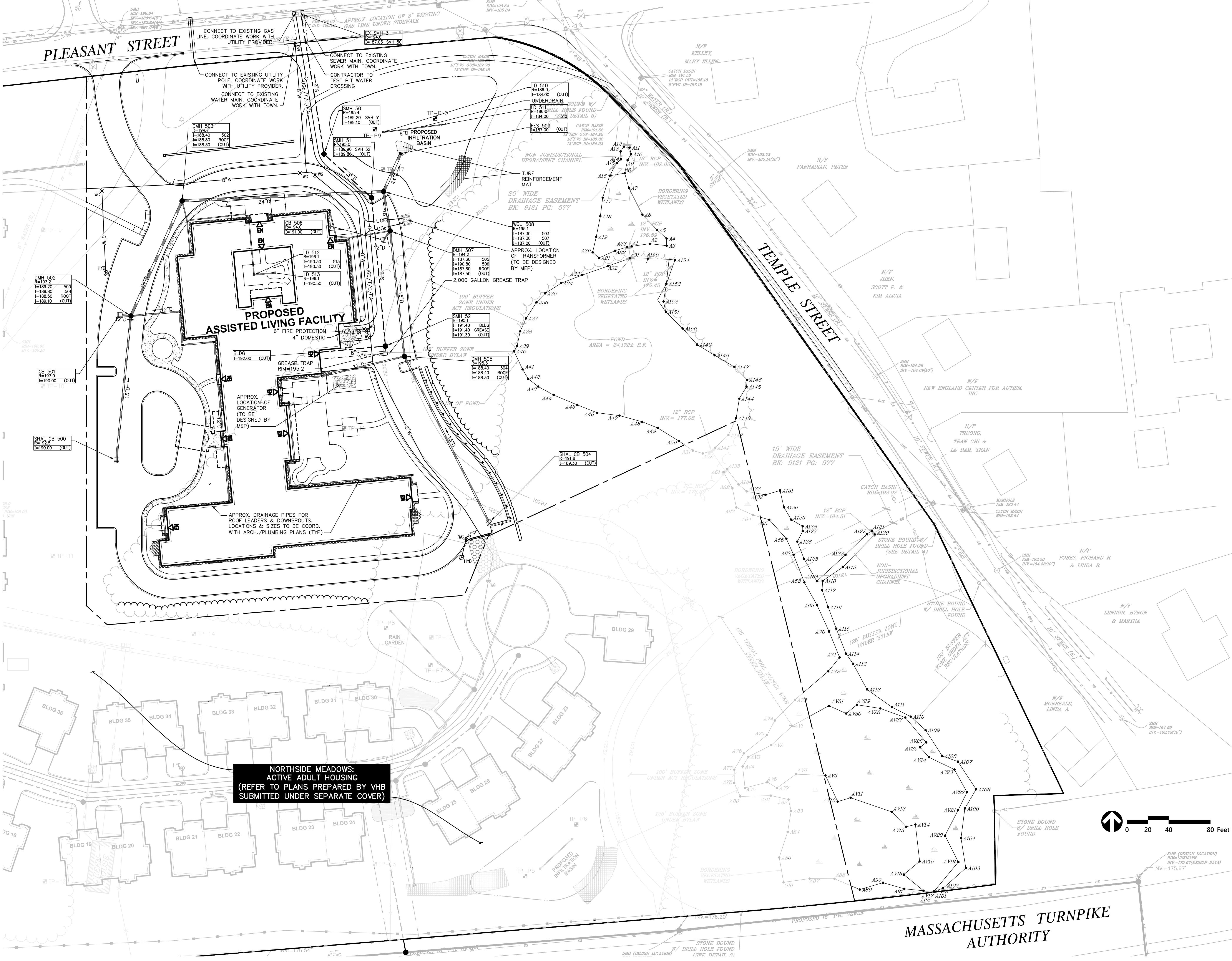
Not Approved for Construction

Grading, Drainage, and Erosion Control Plan

Drawing Number

5 of 11

Project Number
13168.00



FRAMINGHAM PLANNING BOARD
DEFINITIVE DEVELOPMENT PLAN APPROVALS

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**Northside Meadows:
Assisted Living Facility**

518 Pleasant Street
Framingham, Massachusetts

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Designed by	Checked by
MEO	JWD
Issued for	Date
Local Approvals	April 15, 2016

Not Approved for Construction

Drawing Title

Utility Plan

Drawing Number

C-5

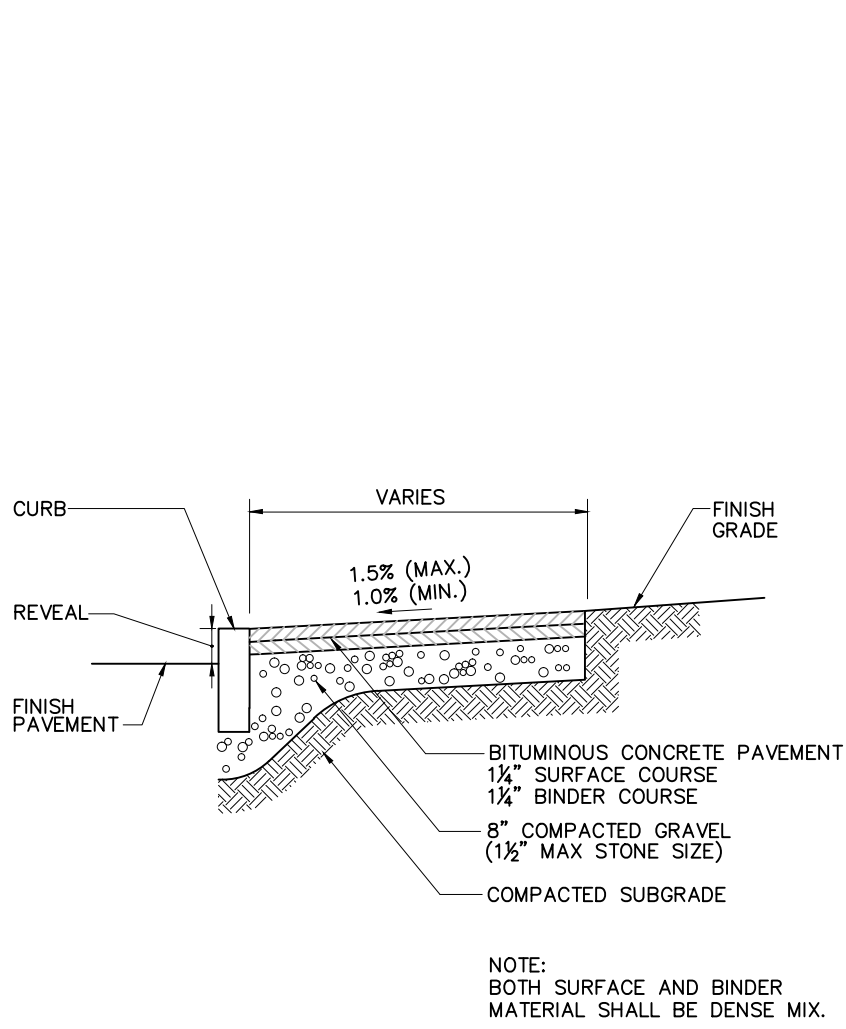
Sheet 6 of 11

Project Number
13168.00

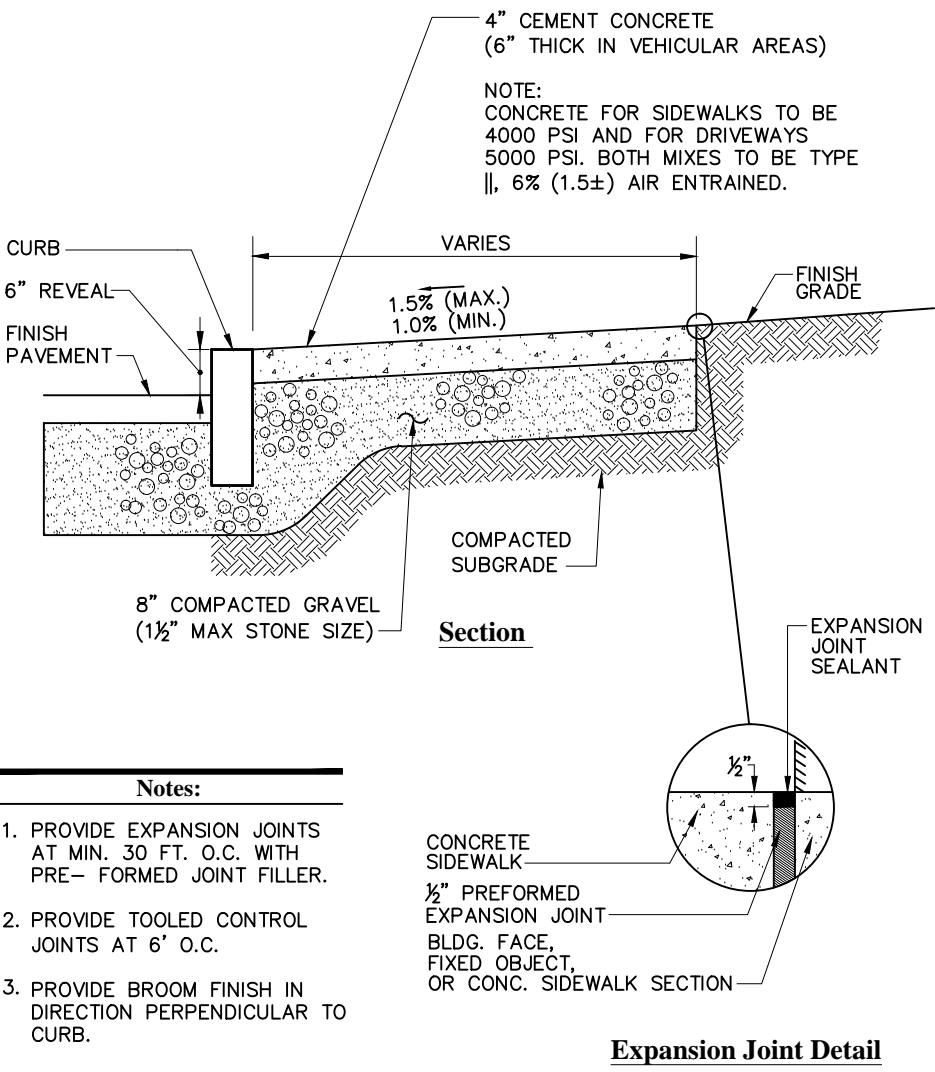
Professional Engineer Seal: JUSTIN DUFFRESNE, CIVIL, No. 51506, Registered Professional Engineer, Commonwealth of Massachusetts, dated 4-15-16.



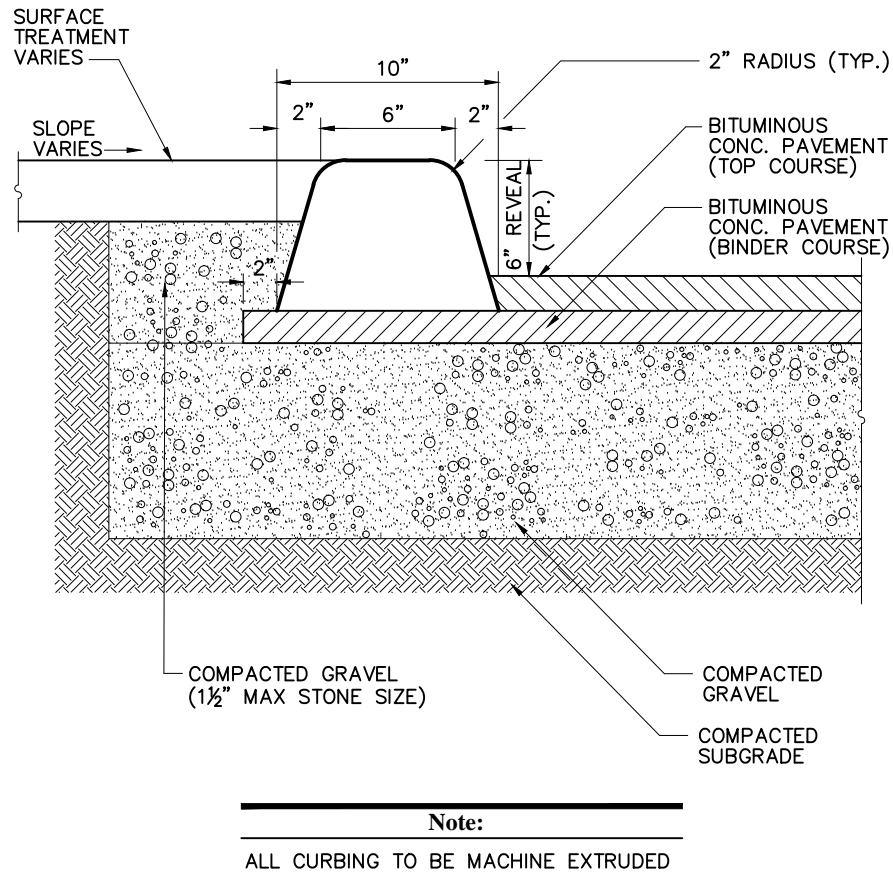
101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



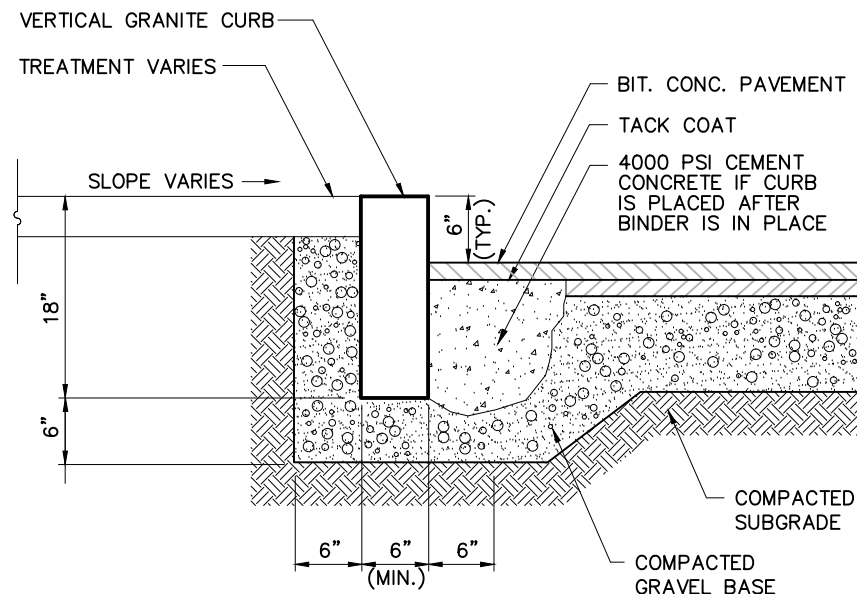
Bituminous Concrete Sidewalk 8/11
N.T.S. Source: VHB LD_422



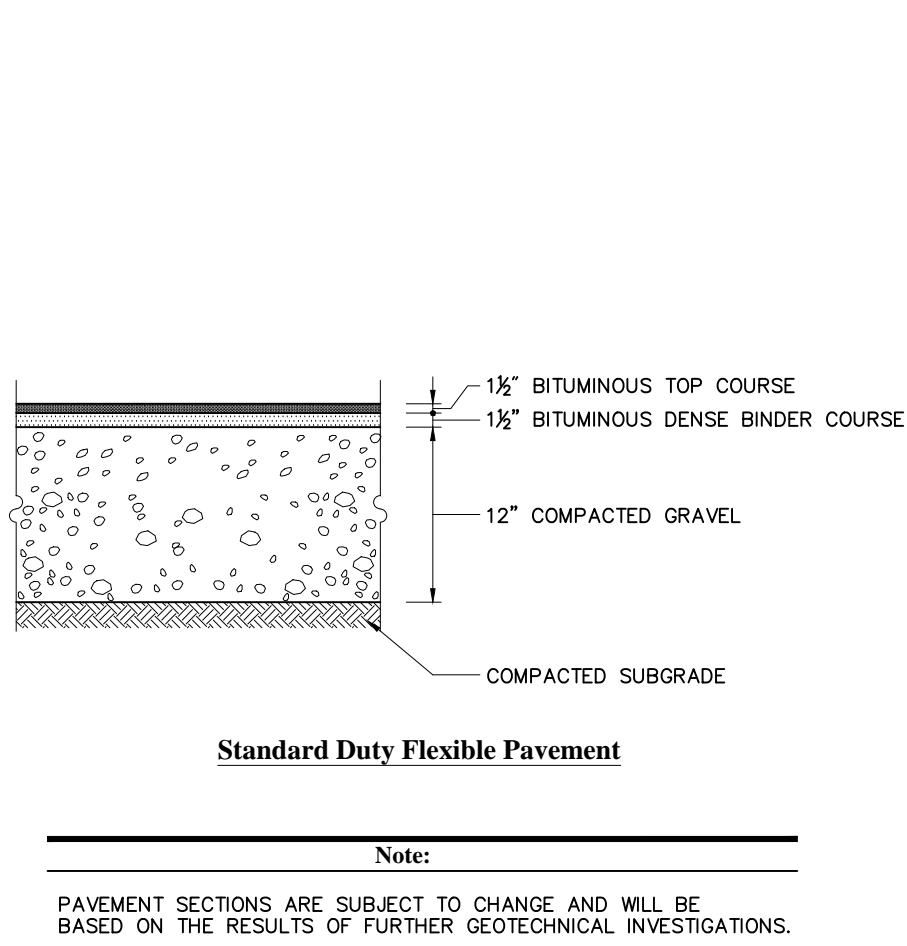
Concrete Sidewalk 4/11
N.T.S. Source: VHB LD_420



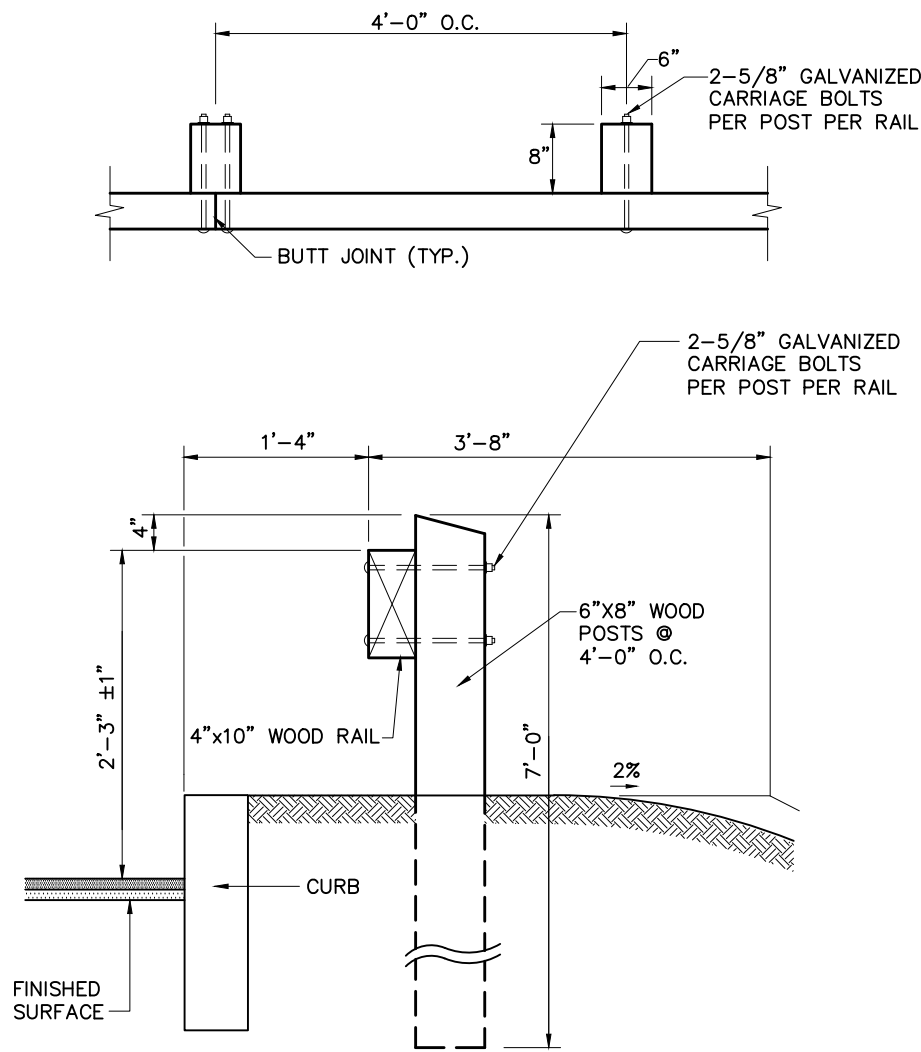
Bituminous Curb (BC) 6/08
N.T.S. Source: VHB LD_406



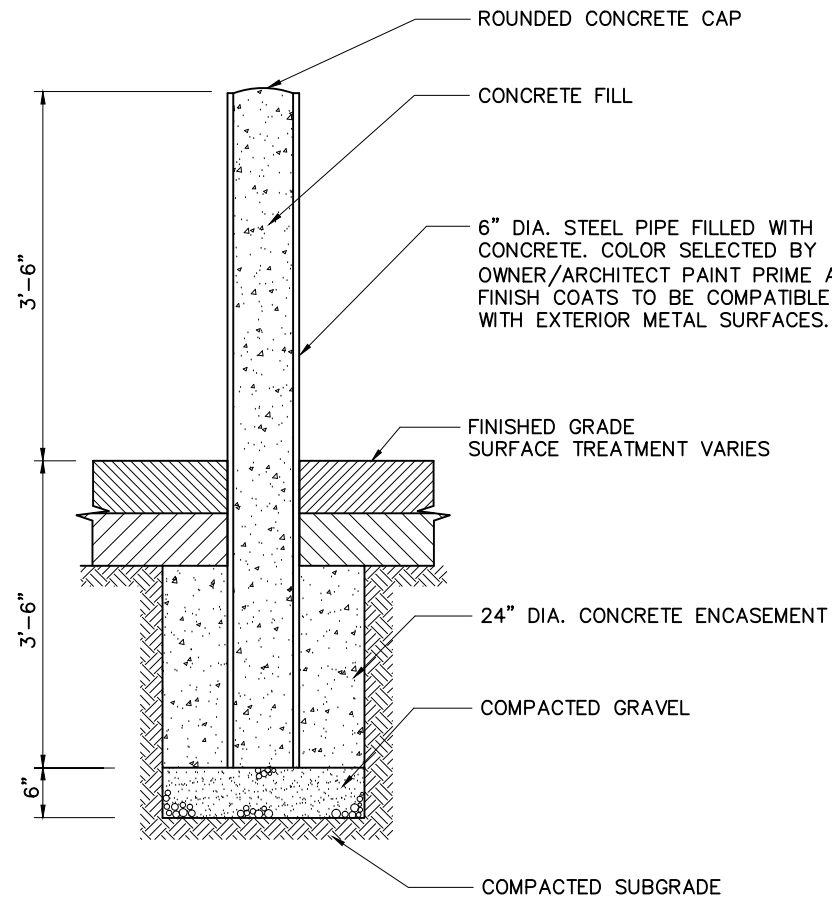
Vertical Granite Curb (VGC) 6/12
N.T.S. Source: VHB LD_402



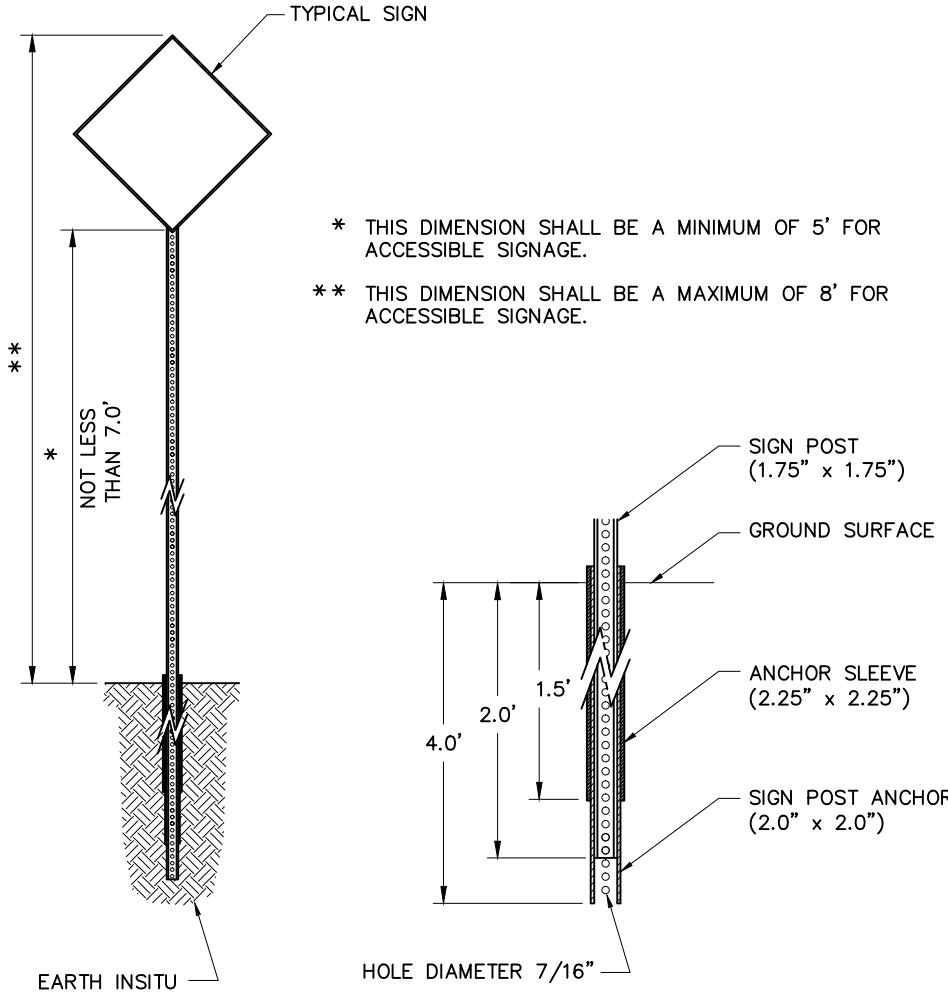
Bituminous Concrete Pavement Sections 12/11
N.T.S. Source: VHB LD_430



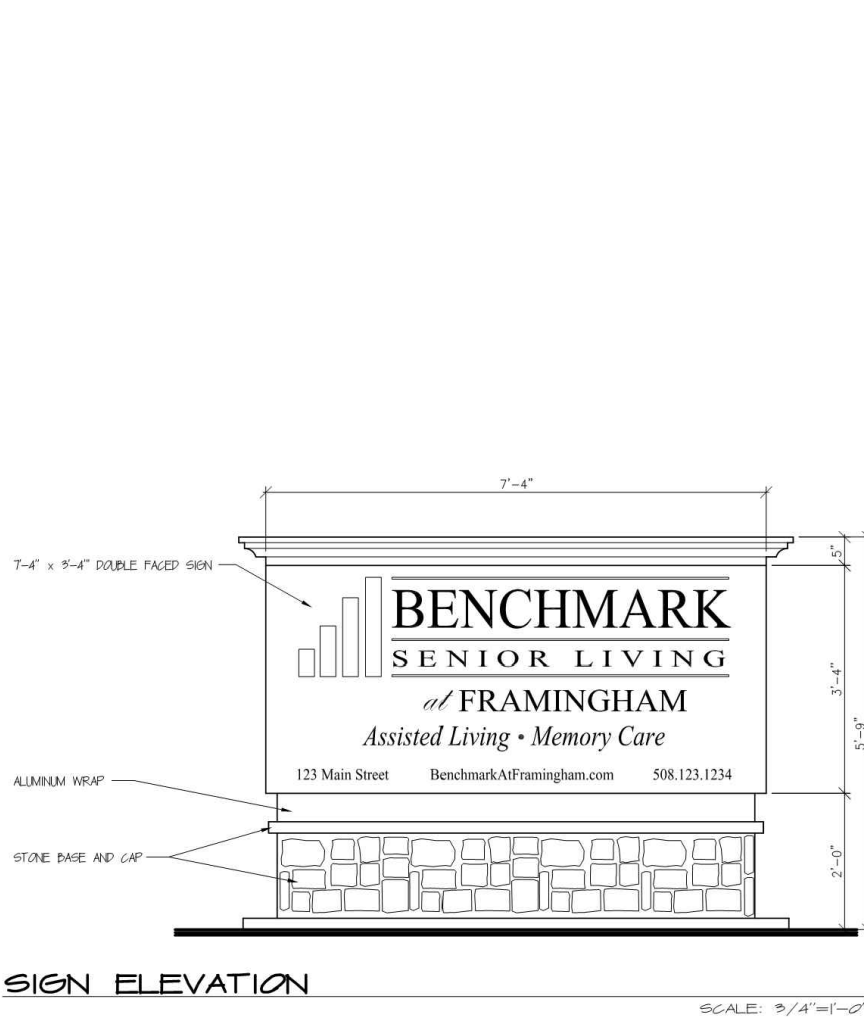
Wood Guardrail 6/08
N.T.S. Source: VHB LD_450



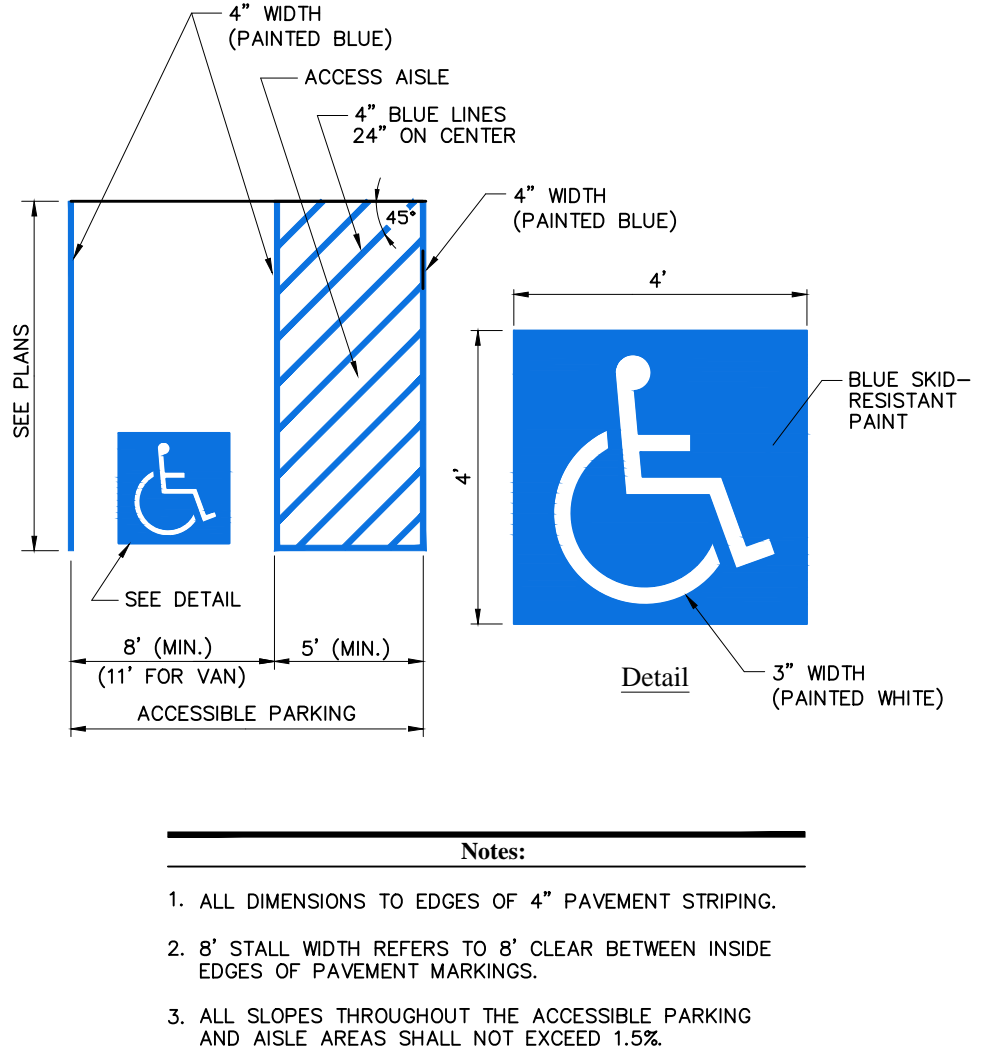
Bollard 6/08
N.T.S. Source: VHB LD_700



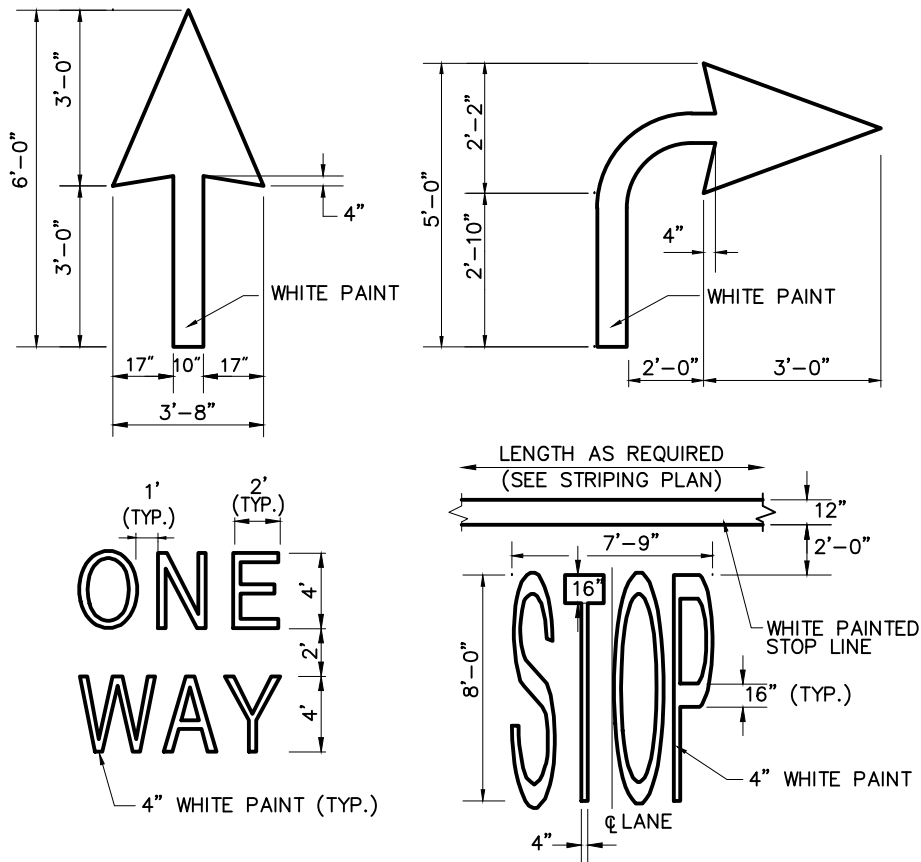
Sign Post - Type 'B' 12/12
N.T.S. Source: VHB LD_702



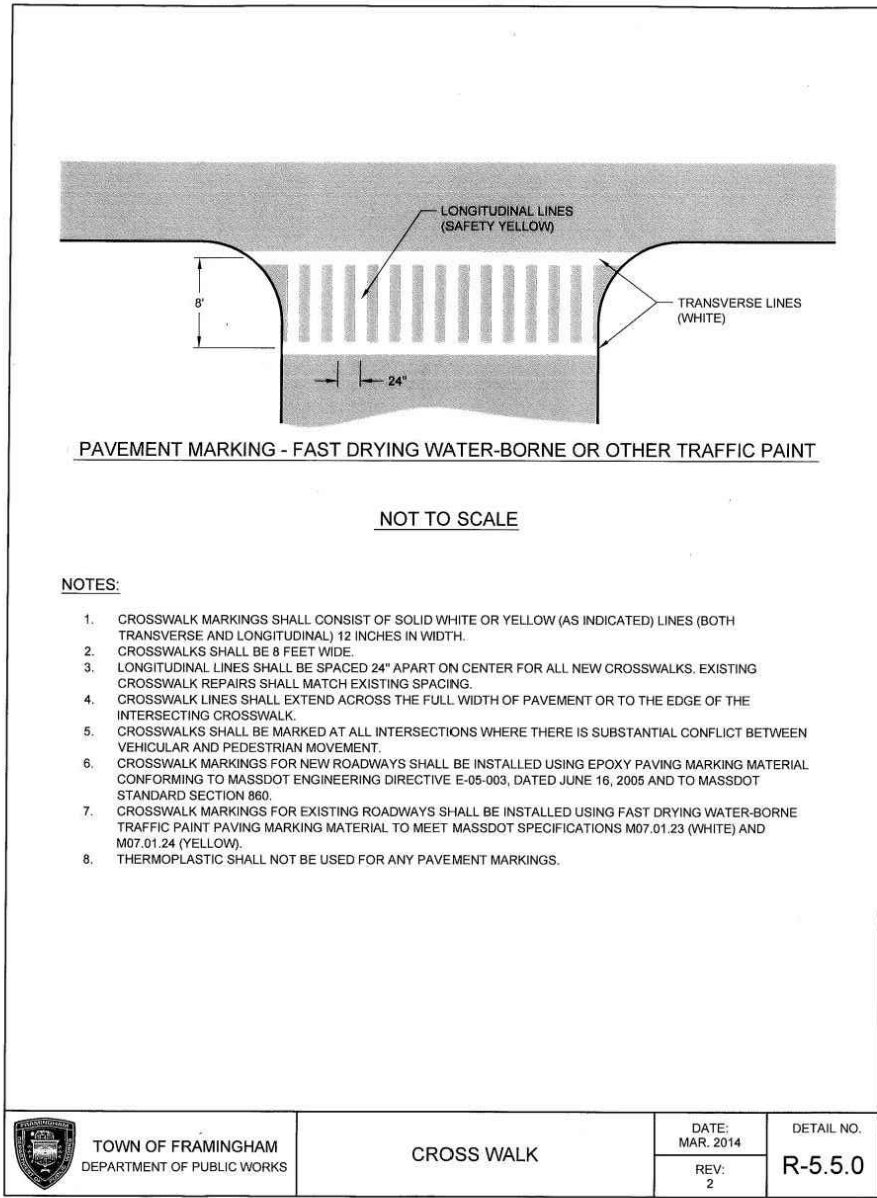
Monument Sign Elevation 04/16
N.T.S. Source: BSL



Accessible Parking Space 11/10
N.T.S. Source: VHB LD_552



Painted Pavement Markings - On Site 6/08
N.T.S. Source: VHB LD_554



Northside Meadows: Assisted Living Facility

518 Pleasant Street
Framingham, Massachusetts

No.	Revision	Date	Appr.

Designed by **MEO** Checked by **JWD**

Issued for **Local Approvals** Date **April 15, 2016**

Not Approved for Construction
Drawing Title **Site Details 1**

COMMONWEALTH OF MASSACHUSETTS

JUSTIN DUFRESNE

CIVIL

No. 51506

REGISTERED PROFESSIONAL ENGINEER

CROSS WALK

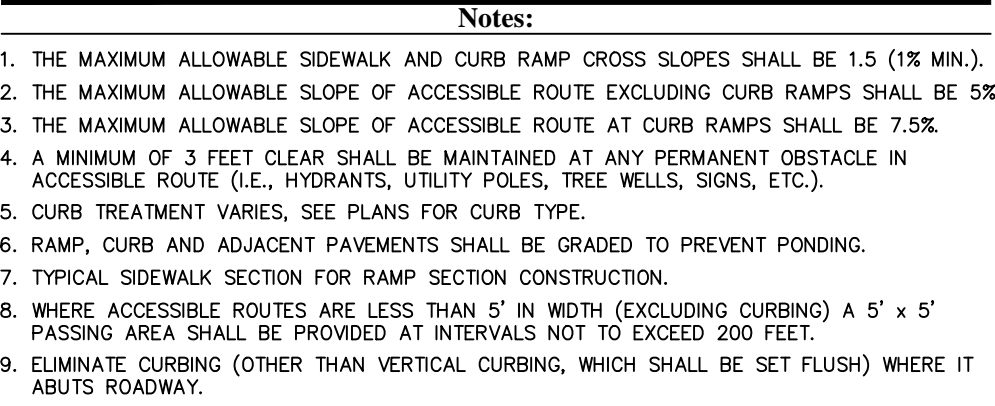
DATE: MAR. 2016

REV: 2

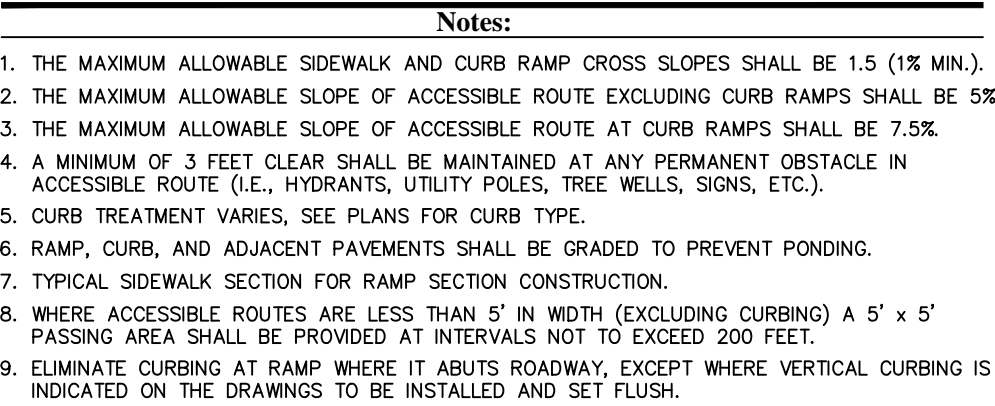
DETAIL NO. R-5.5.0

Sheet 7 of 11

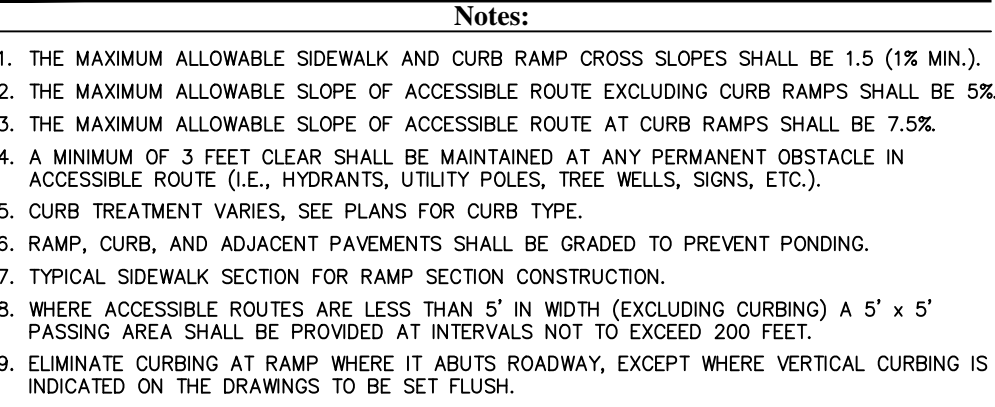
Project Number 13168.00



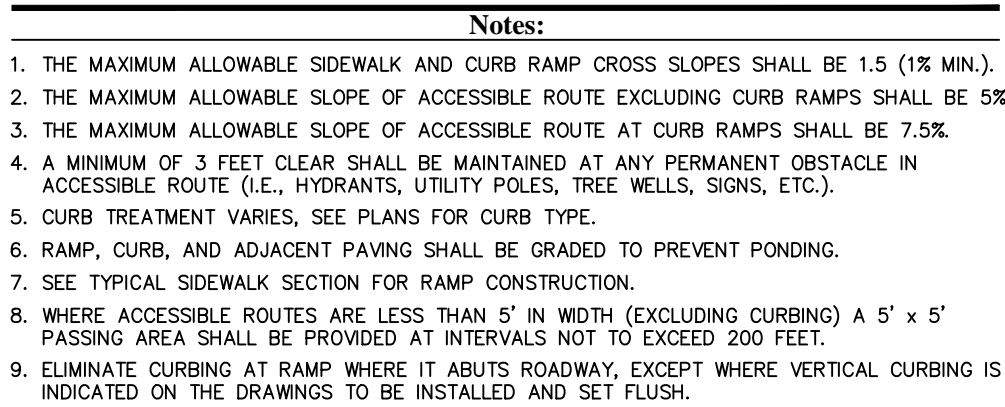
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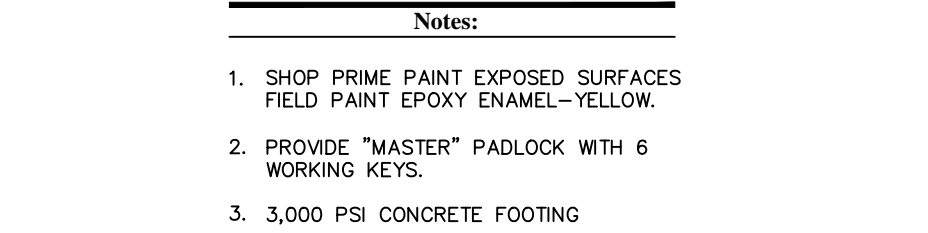
U.T.S. Source: VHB LD_506



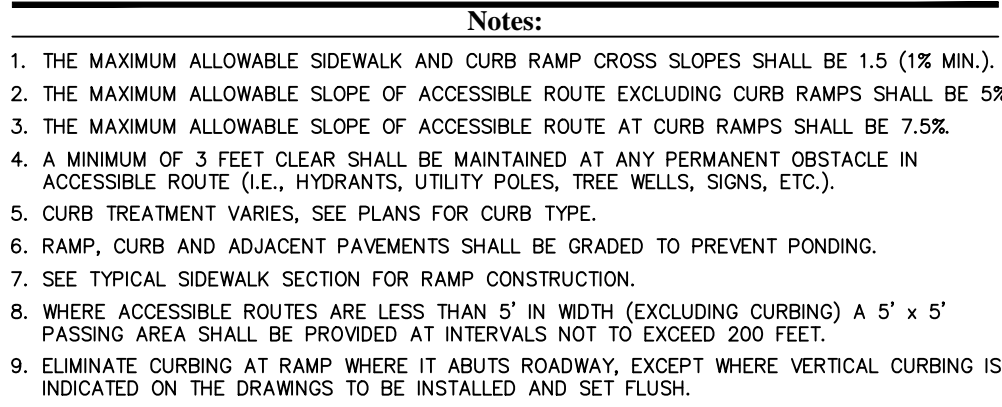
U.T.S. Source: VHB LD_503



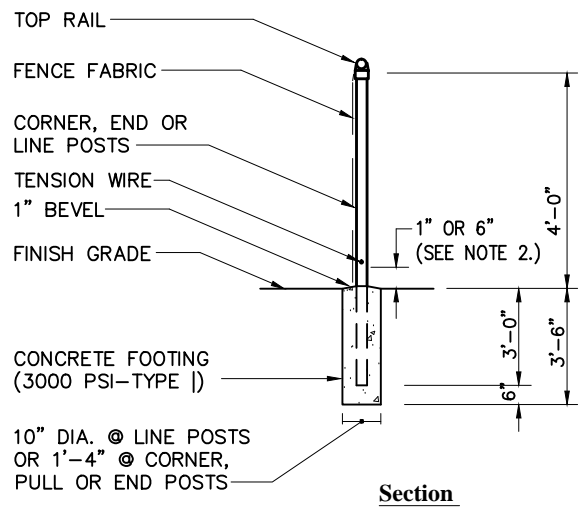
N.T.S. Source: VHB LD_502



N.T.S.	Source: VHB	LD_48
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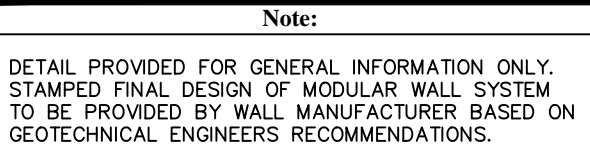


N.T.S. Source: VHB LD_50

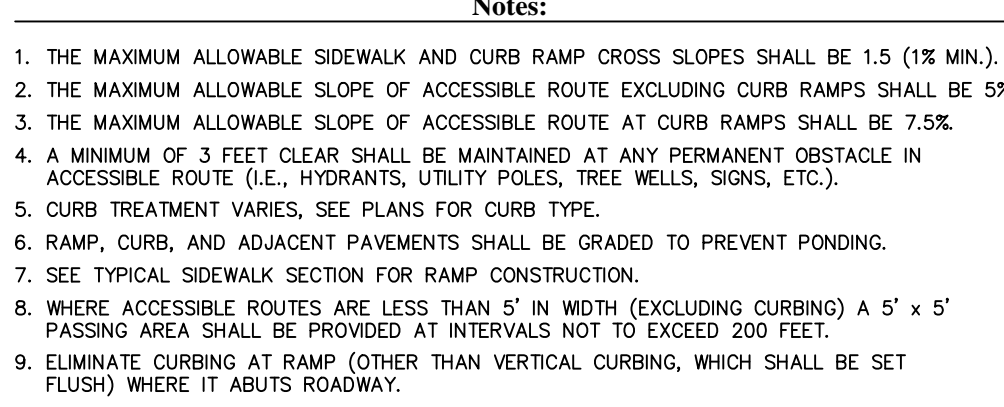


1. MATERIALS TO BE SUPPLIED AND INSTALLED IN CONFORMANCE WITH "CHAIN LINK MANUFACTURER'S INSTITUTE" PRODUCT MANUAL.
2. PROVIDE 6" OF CLEARANCE BETWEEN THE BOTTOM OF FABRIC AND FINISH GRADE AROUND BMP IF AN ORDER OF CONDITIONS WAS ISSUED FOR THE PROJECT.

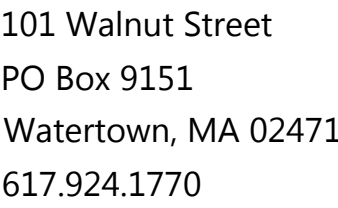
N.T.S. Source: VHB LD_481_M



N.T.S.	Source: VHB	LD_75
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N.T.S. Source: VHB LD_50



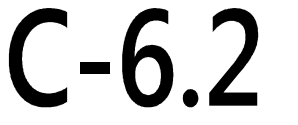
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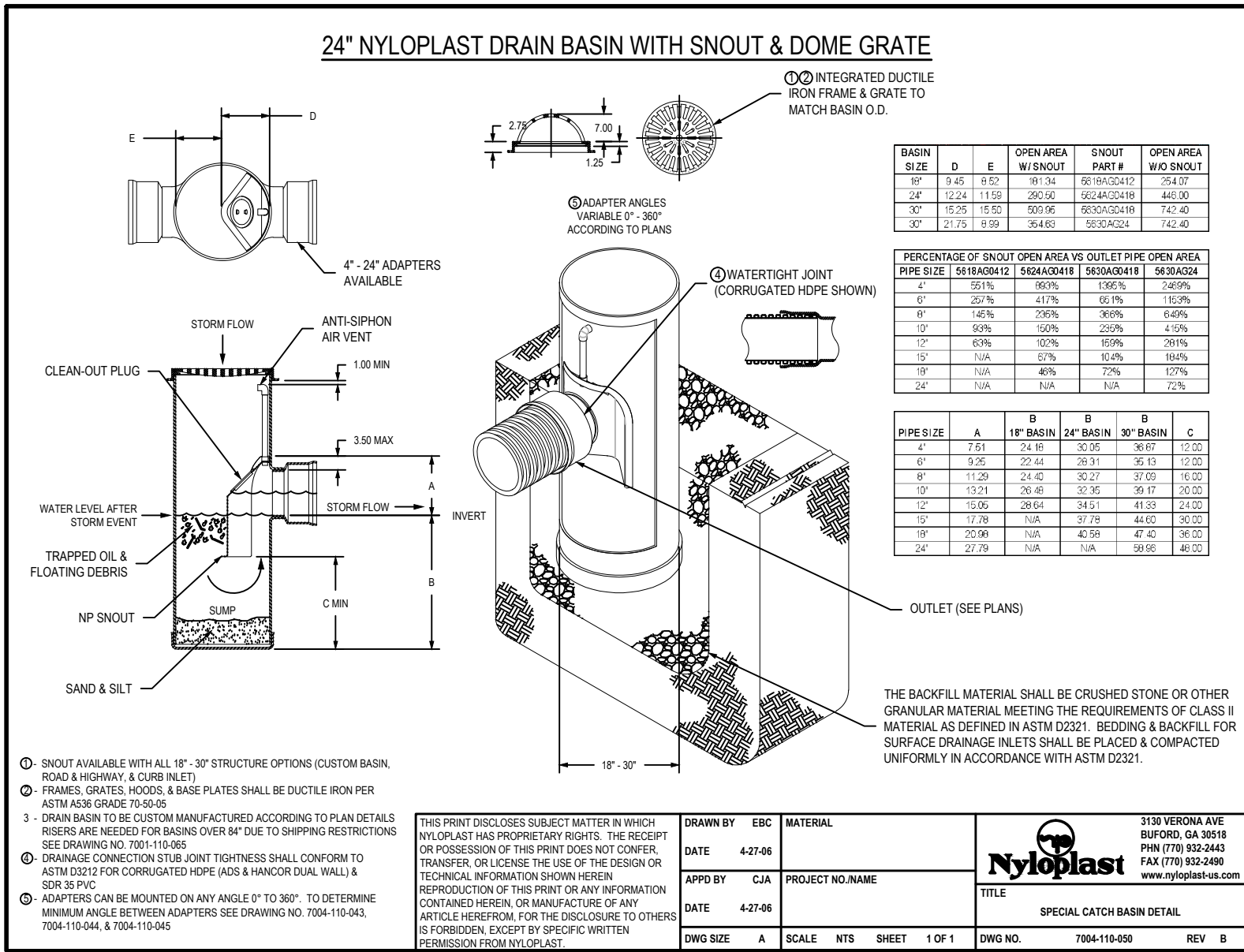
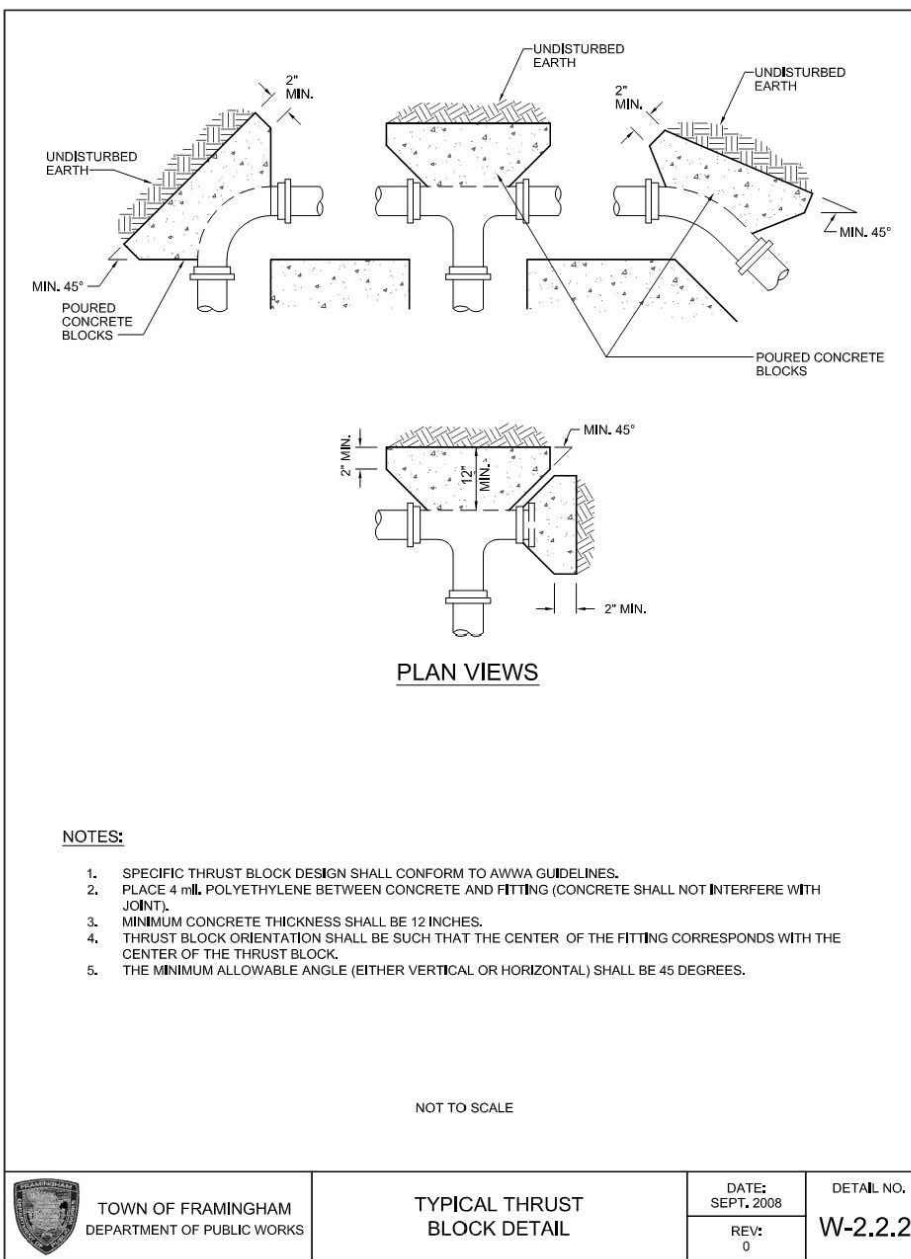
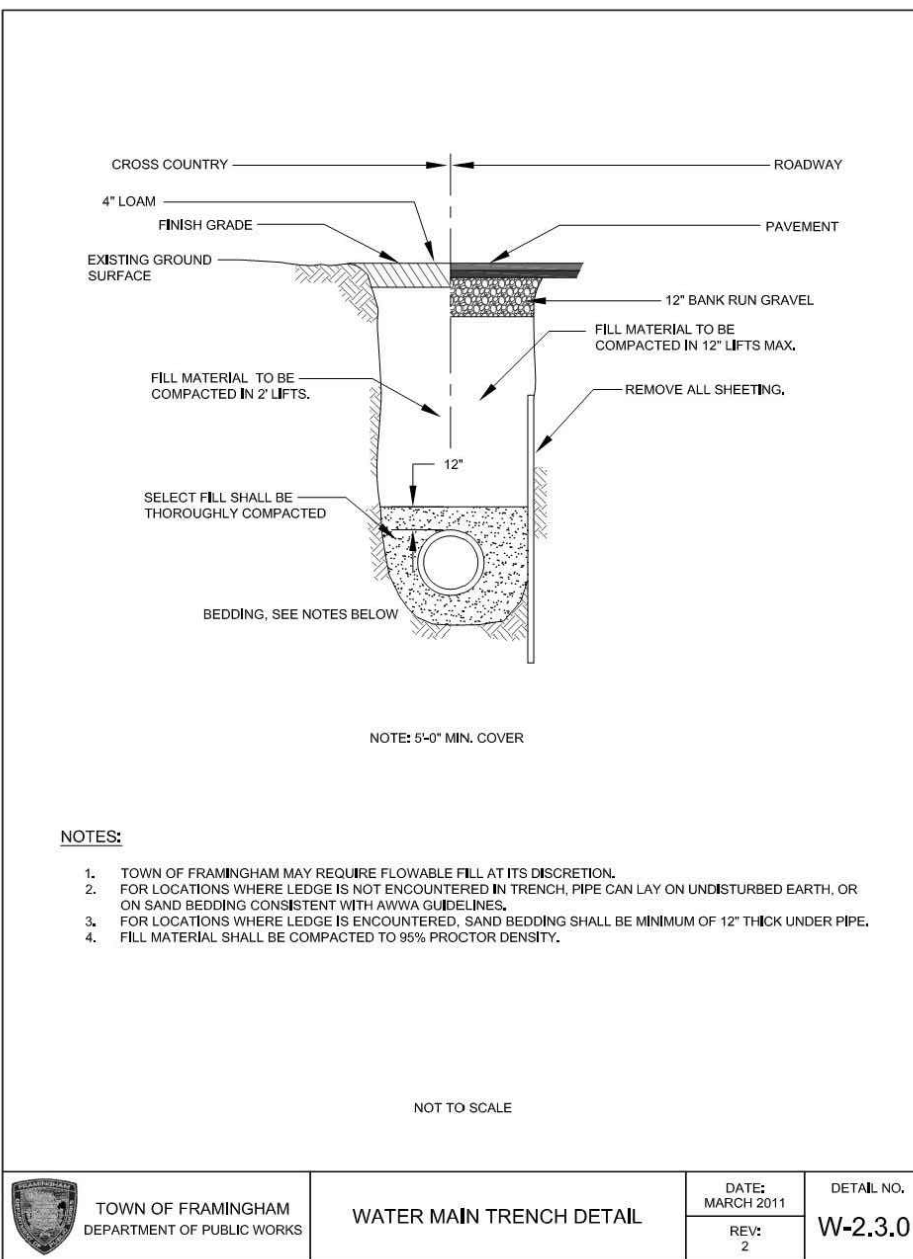
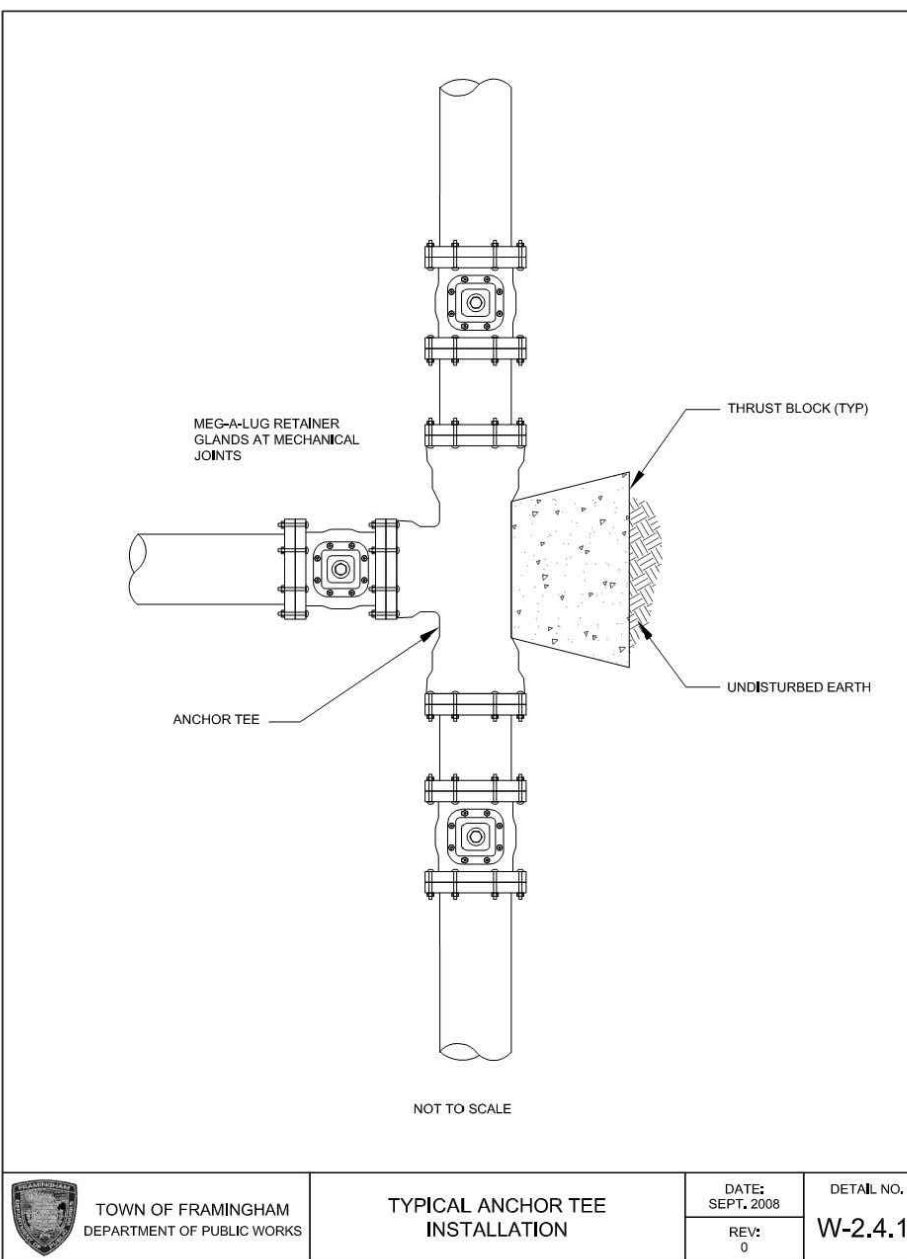
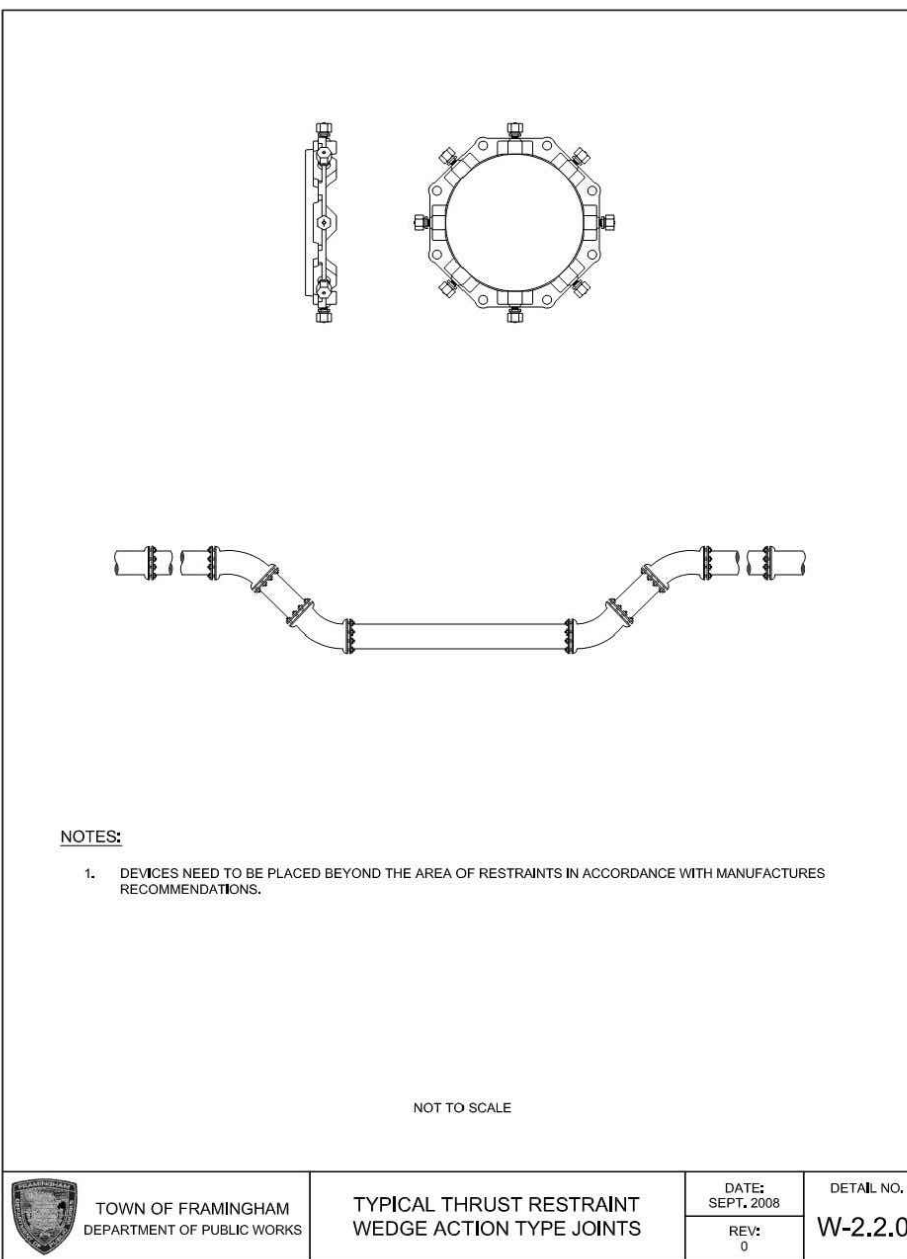
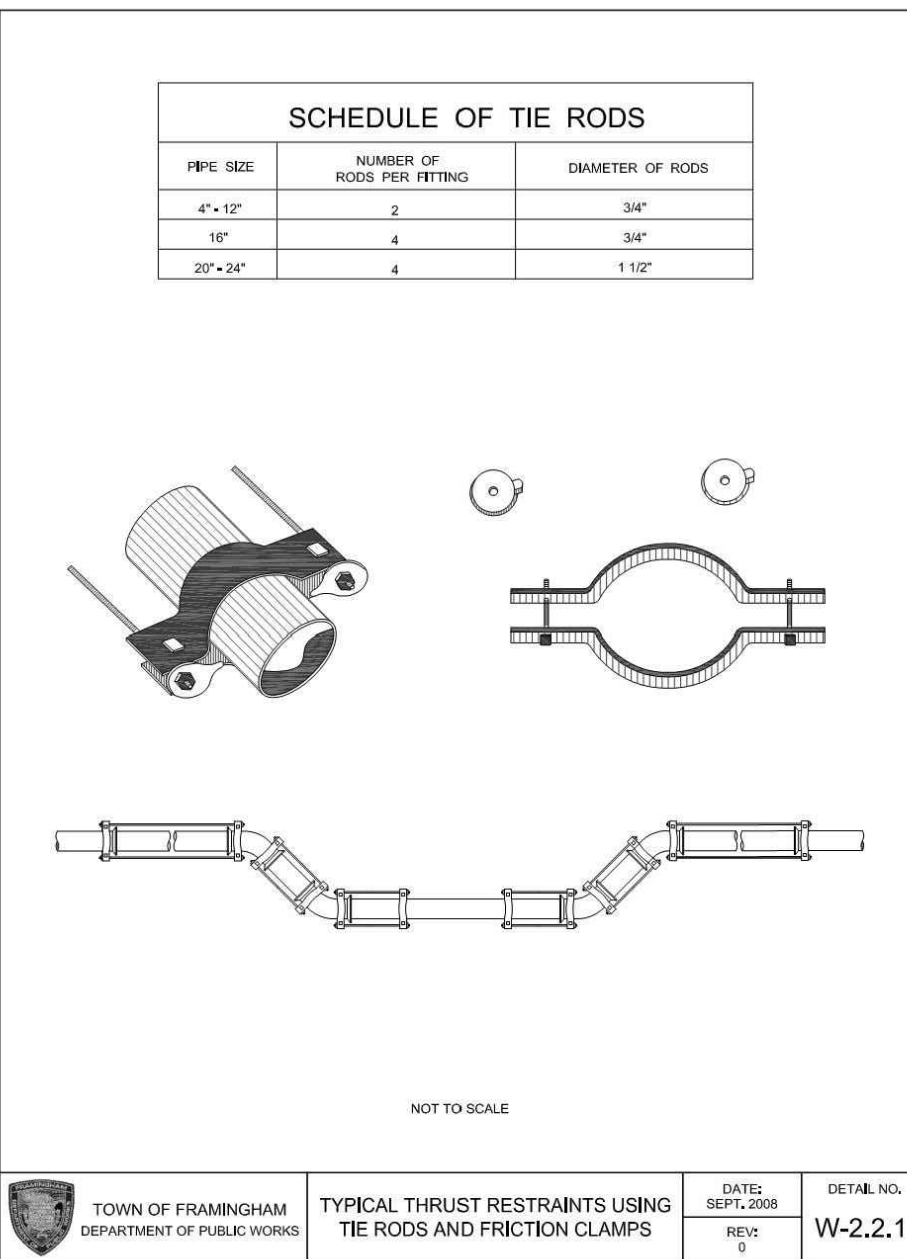
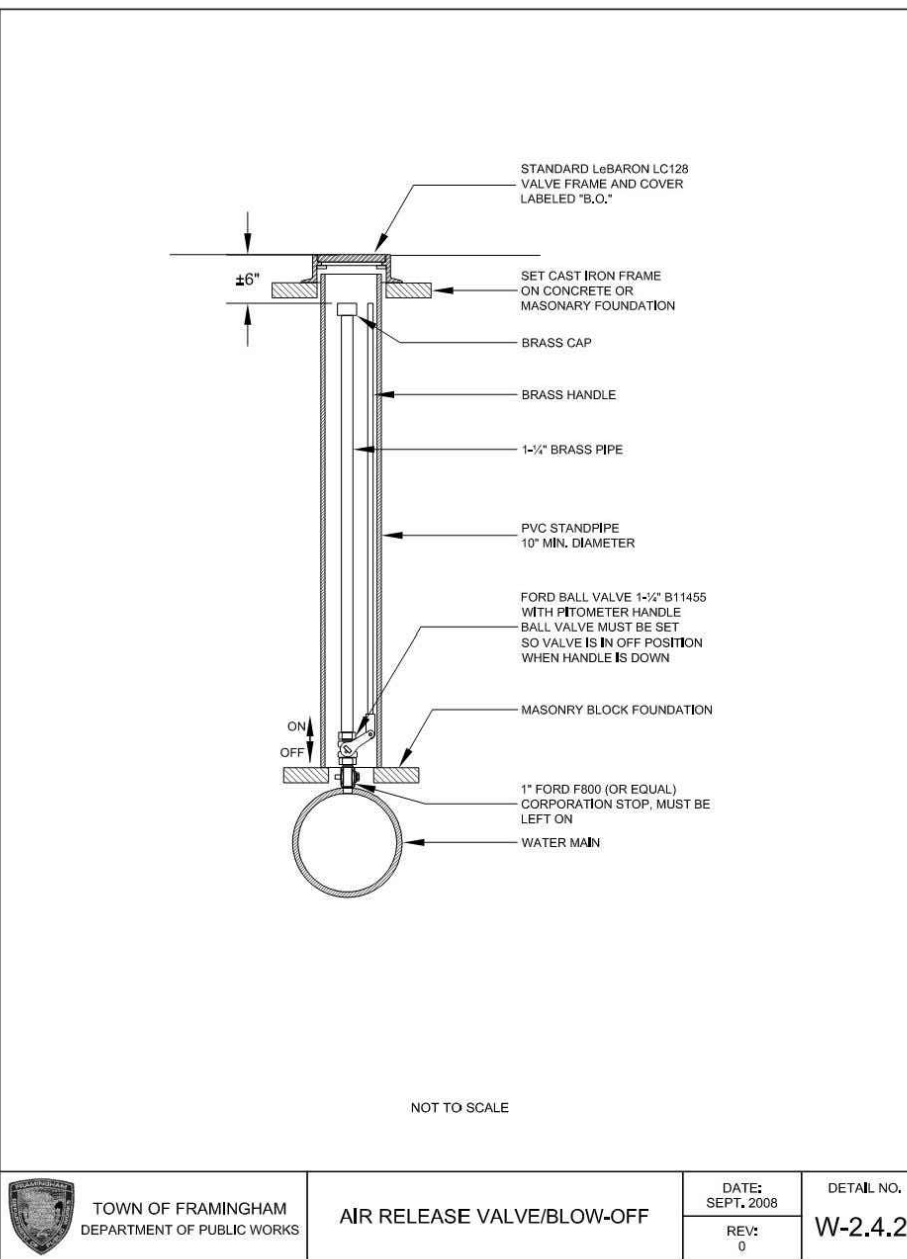
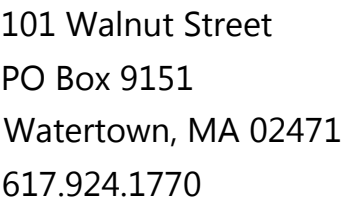
518 Pleasant Street
Framingham, Massachusetts

Designed by	Checked by
MEO	JWD

April 15, 2016

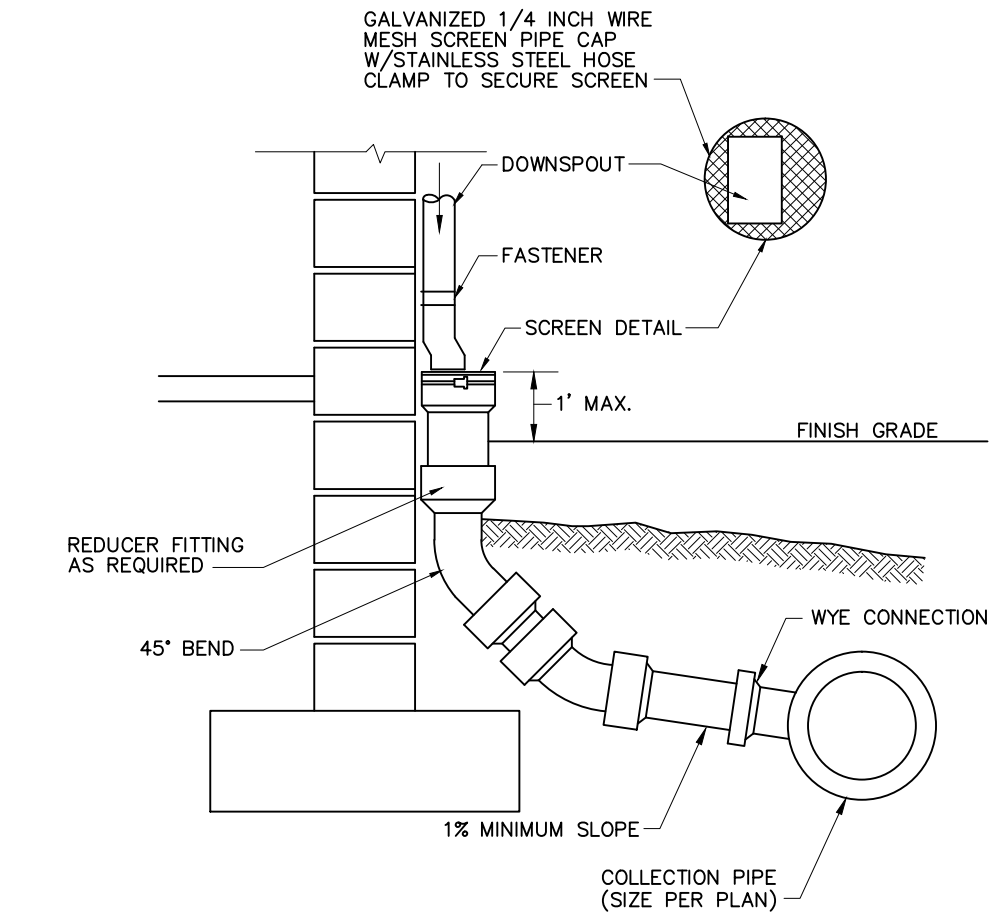
Site Details 2





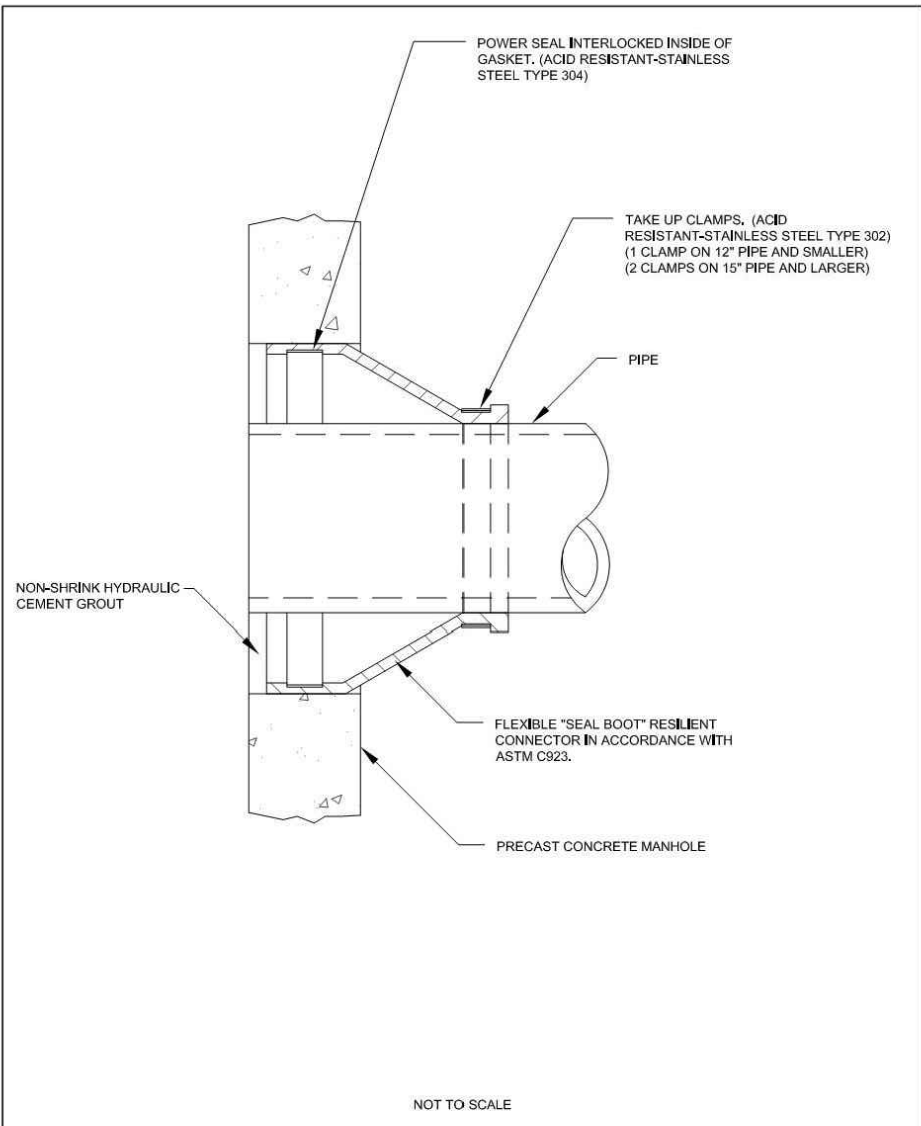


101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



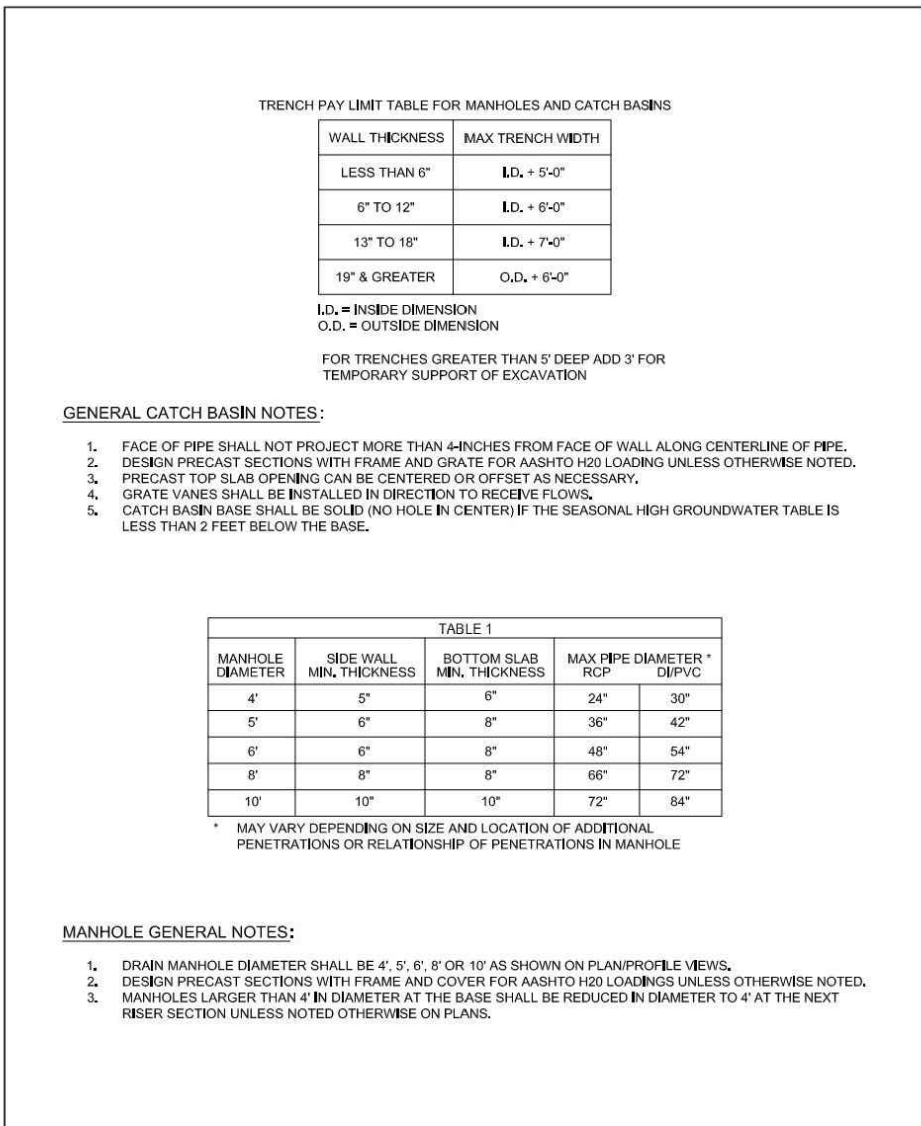
Downspout Rain Leader

N.T.S. Source: VHB 6/08 LD_195



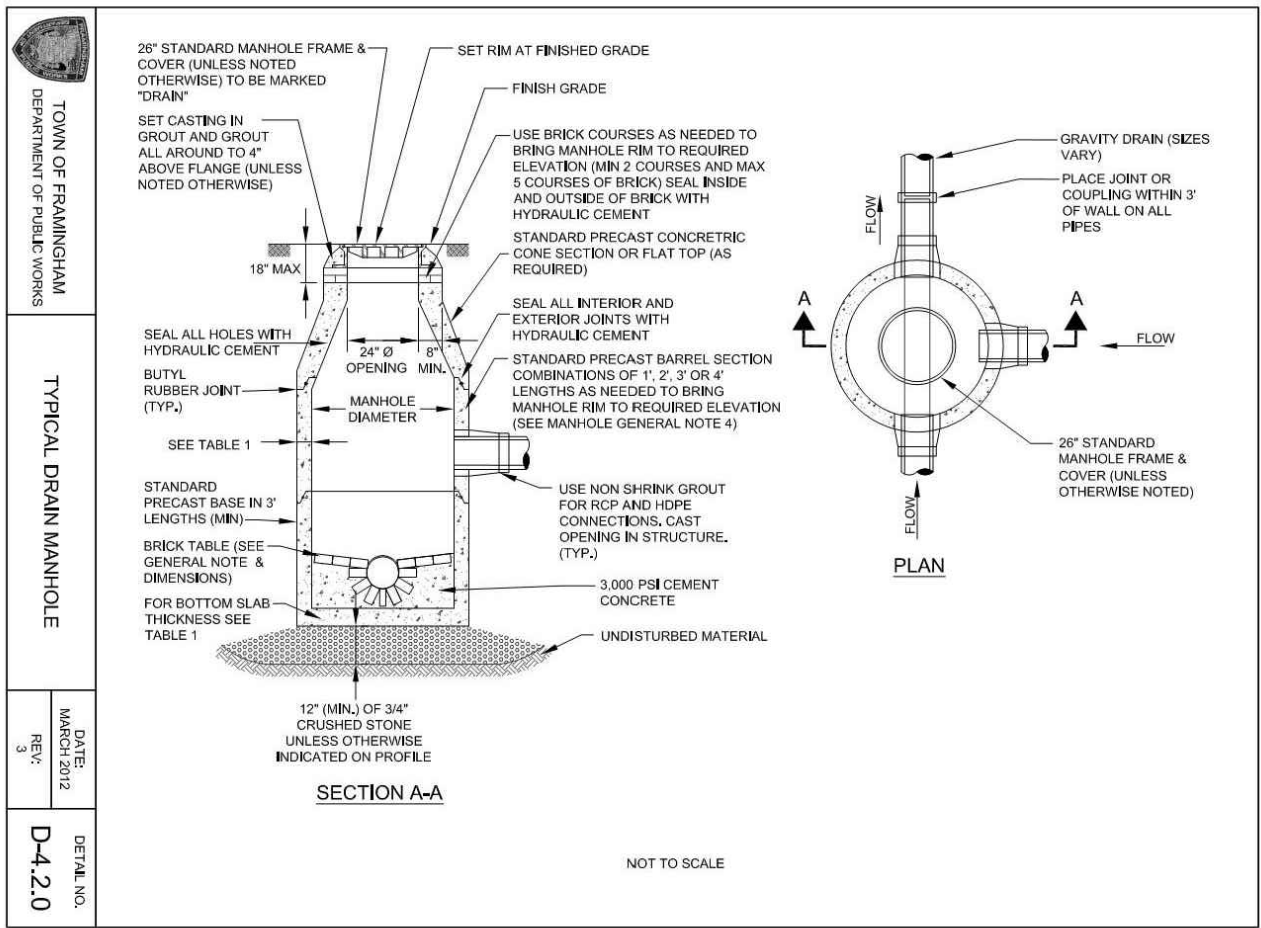
MANHOLE SEAL (TYPICAL)

TOWN OF FRAMINGHAM
DEPARTMENT OF PUBLIC WORKS
DATE: MARCH 2011
REV: 2
DETAIL NO: S-3.4.4



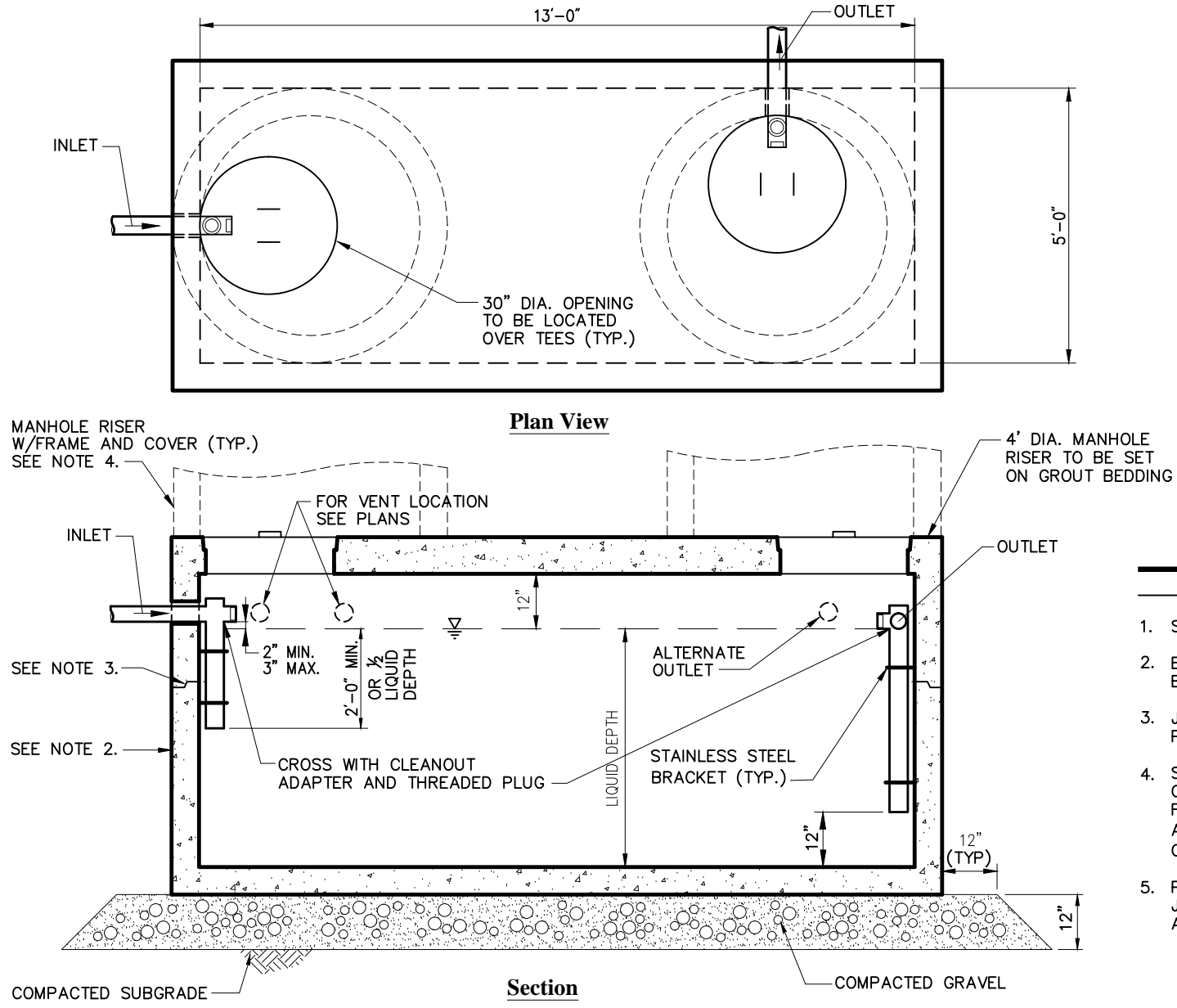
MANHOLES & CATCH BASINS
GENERAL NOTES AND DIMENSIONS

TOWN OF FRAMINGHAM
DEPARTMENT OF PUBLIC WORKS
DATE: MARCH 2011
REV: 1
DETAIL NO: D-4.3.0



TYPICAL DRAIN MANHOLE

TOWN OF FRAMINGHAM
DEPARTMENT OF PUBLIC WORKS
DATE: MARCH 2012
REV: 1
DETAIL NO: D-4.2.0



Precast Concrete Grease Trap (GT)

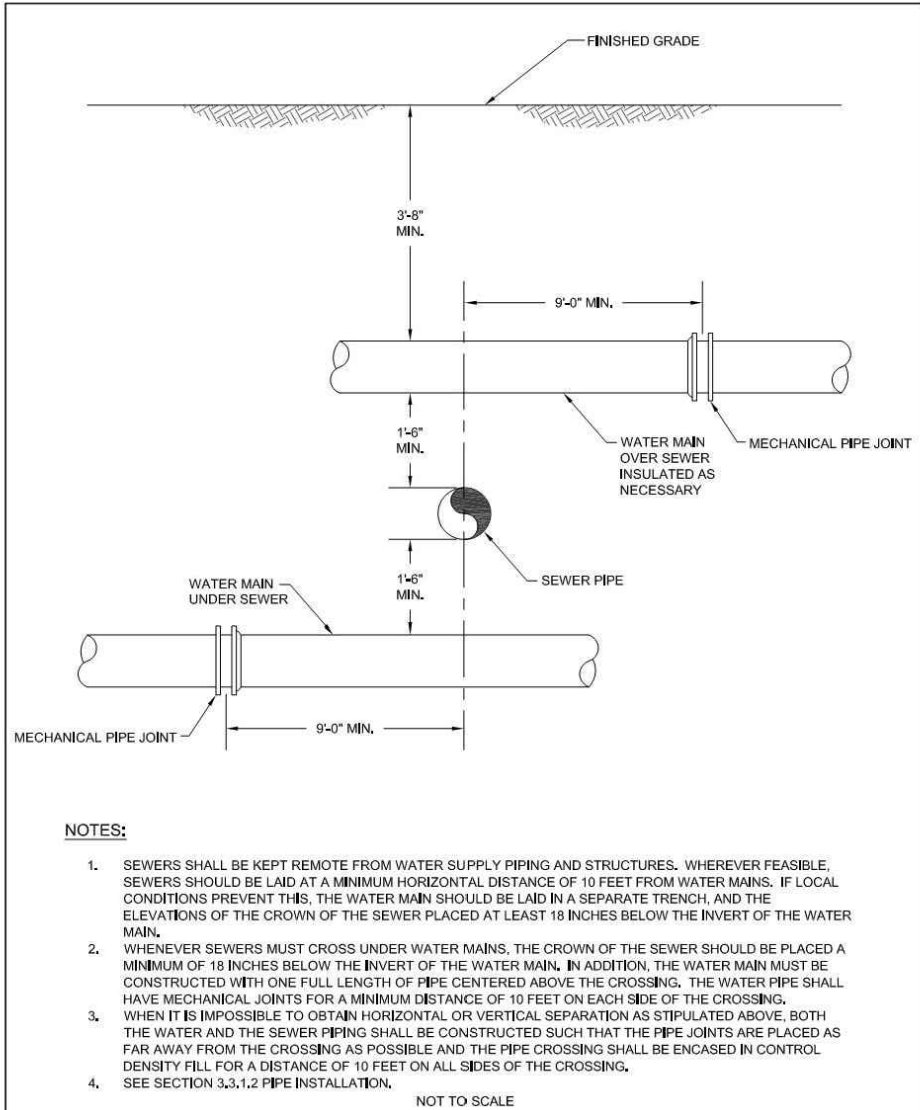
N.T.S. Source: VHB 7/13 LD_210

GREASE TRAP	
SIZE (GAL.)	LIQUID DEPTH
2,000	4'-4"

NOTE:
FINAL DESIGN OF GREASE TRAP TO BE BY PLUMBING ENGINEER.
THE INSTALLATION OF GREASE TRAP, THE PIPING TO AND 10 FEET BEYOND IS BY PLUMBER.

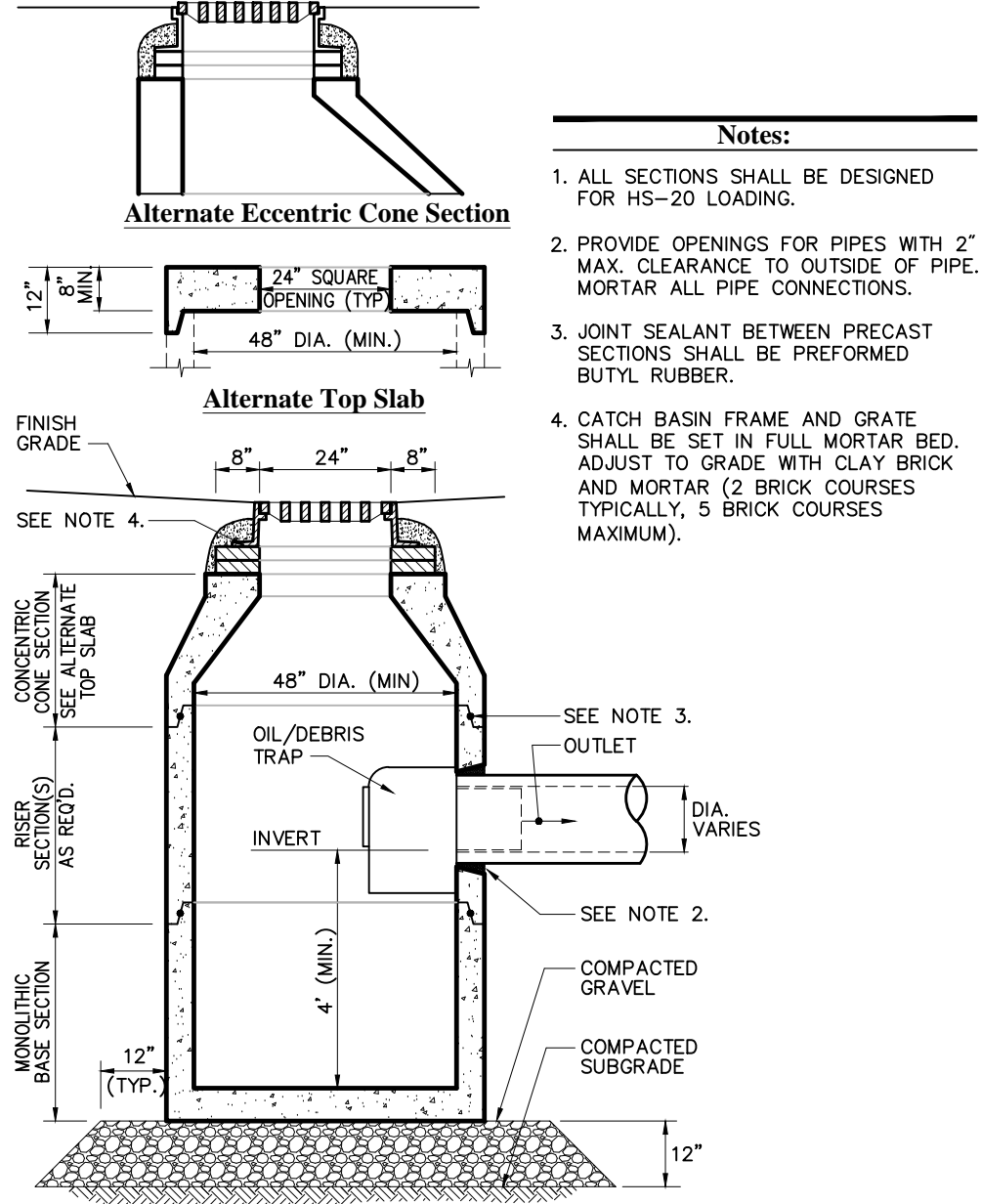
Notes:

- STRUCTURE SHALL BE DESIGNED FOR HS-20 LOADING.
- EXTERIOR SURFACES SHALL BE GIVEN TWO COATS OF BITUMINOUS WATER-PROOFING MATERIAL.
- JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
- STANDARD 30-INCH SEWER MANHOLE FRAME AND COVER SHALL BE LOCATED OVER CROSSES AND SET IN FULL MORTAR BED, ADJUST TO GRADE, WITH SEWER BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).
- PIPING SHALL BE SCH 40 PVC WITH SOLVENT WELDED JOINTS. INTERNAL PIPE DIAMETER SHALL BE SAME SIZE AS OUTLET PIPE.



SEWER CROSSING

TOWN OF FRAMINGHAM
DEPARTMENT OF PUBLIC WORKS
DATE: MAR 2012
REV: 1
DETAIL NO: S-3.5.0



Catch Basin (CB) With Oil/Debris Trap

N.T.S. Source: VHB 6/08 LD_101

FRAMINGHAM PLANNING BOARD
DEFINITIVE DEVELOPMENT PLAN APPROVALS

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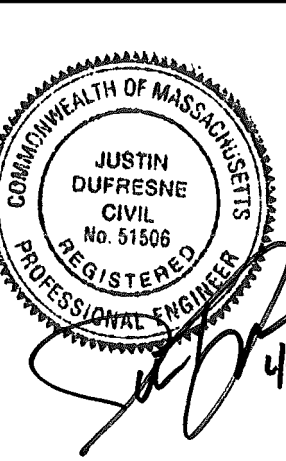
Northside Meadows:
Assisted Living Facility

518 Pleasant Street
Framingham, Massachusetts

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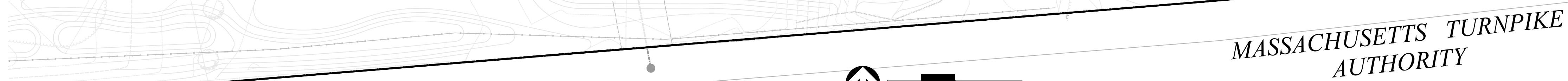
Not Approved for Construction
Drawing Title: Site Details 5



C-6.5

Sheet 11 of 11

Project Number: 13168.00



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Planting Plan

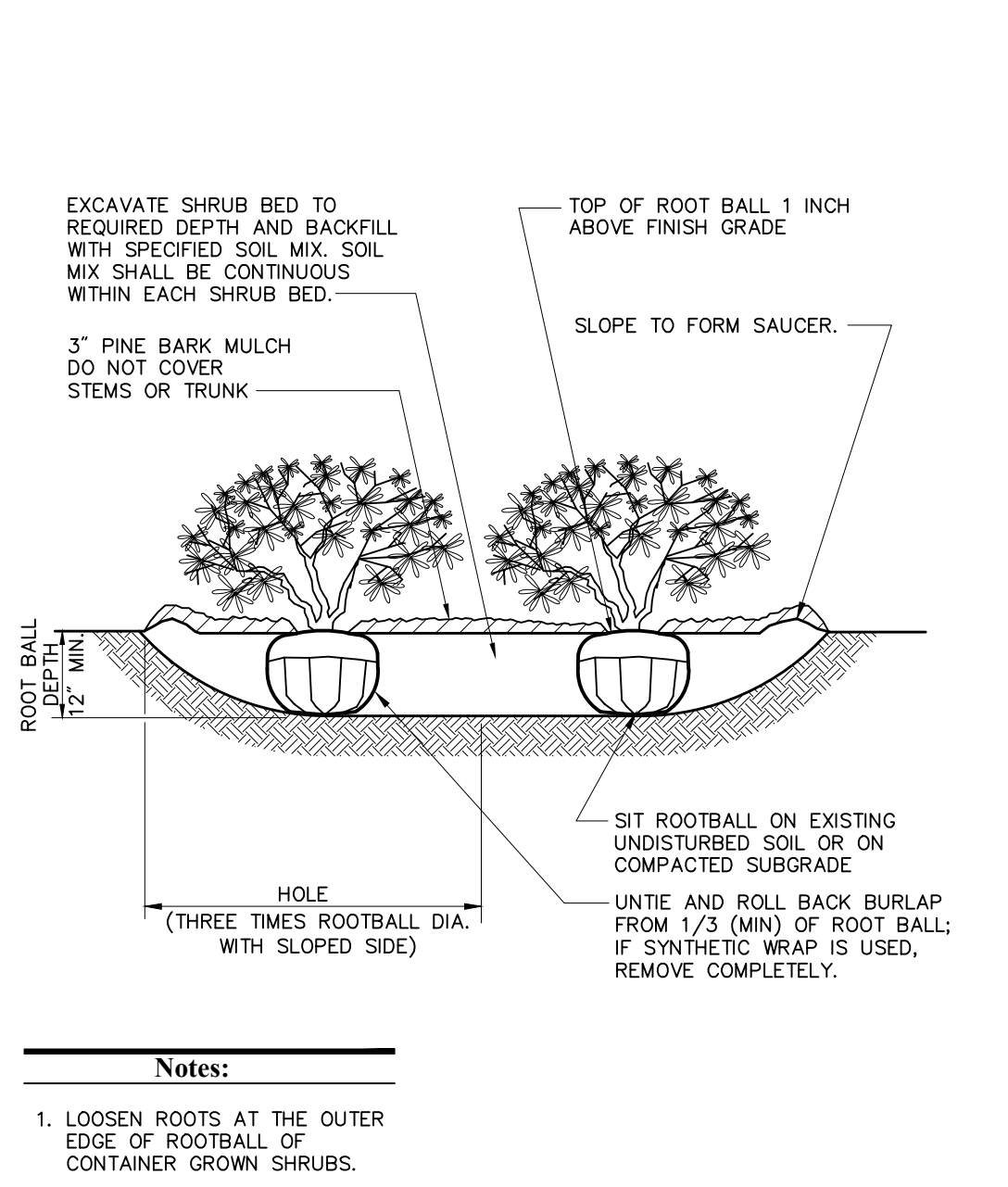
Drawing Number

L-1.1

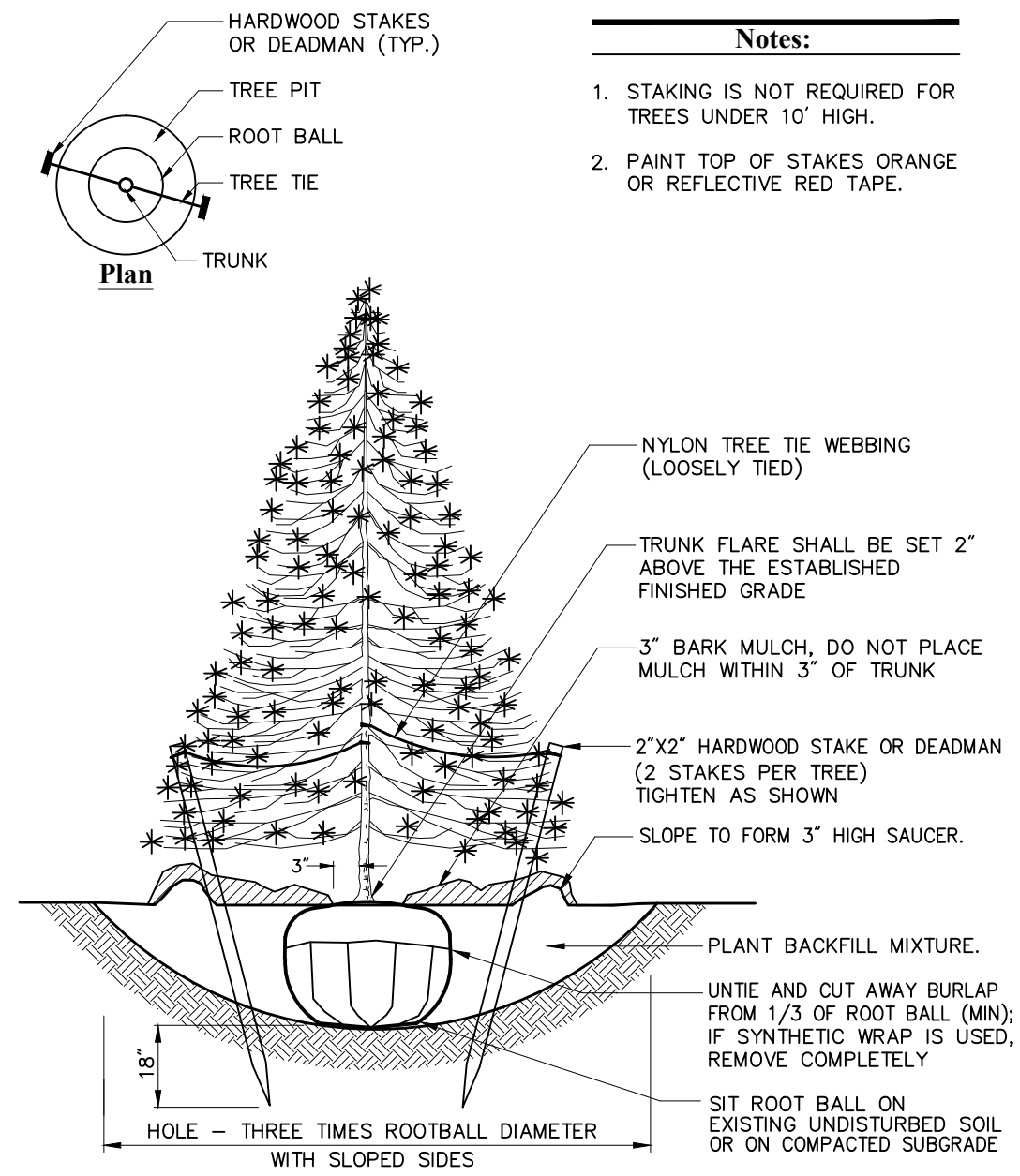
Sheet 1 of 2

Project Number
13168.00

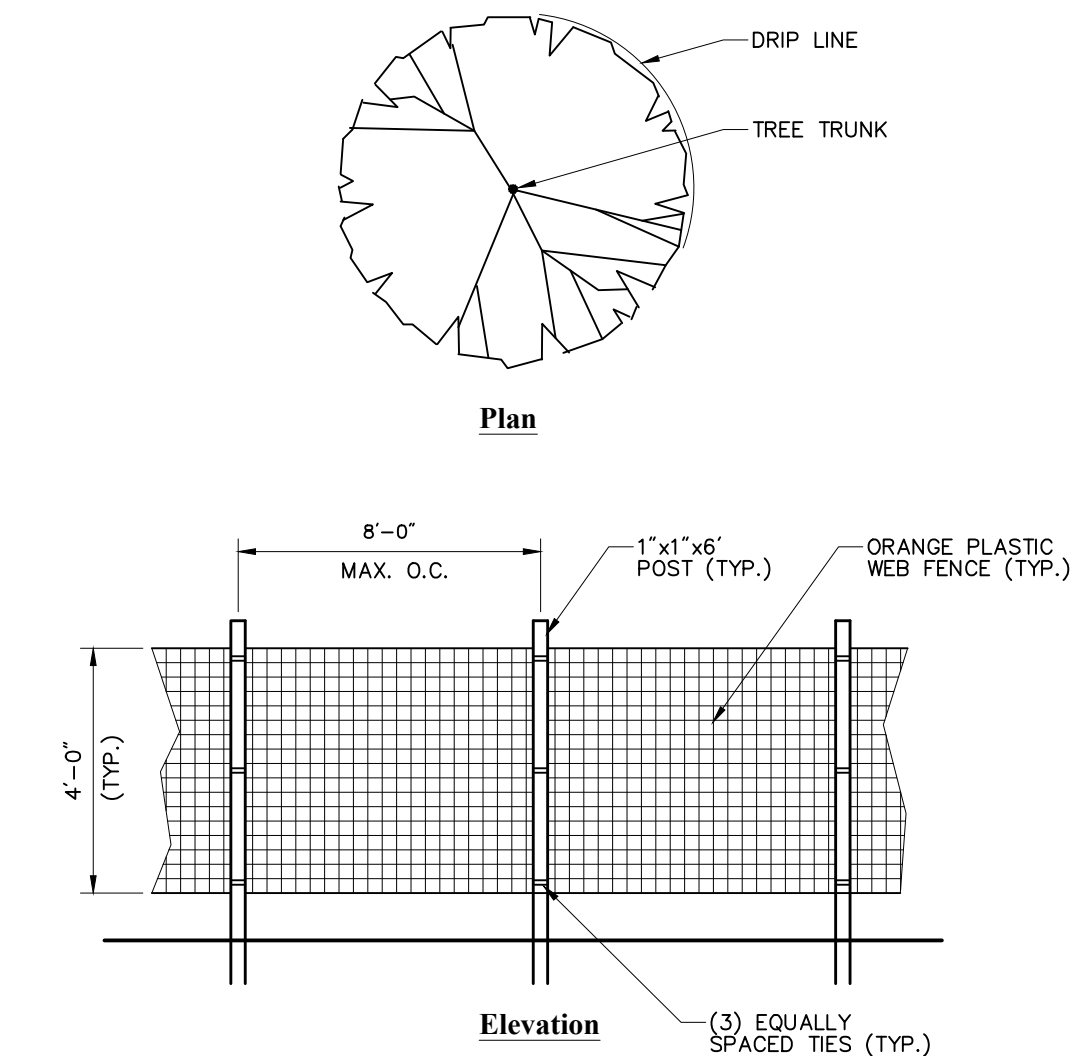




Shrub Bed Planting 6/08
N.T.S. Source: VHB LD_601

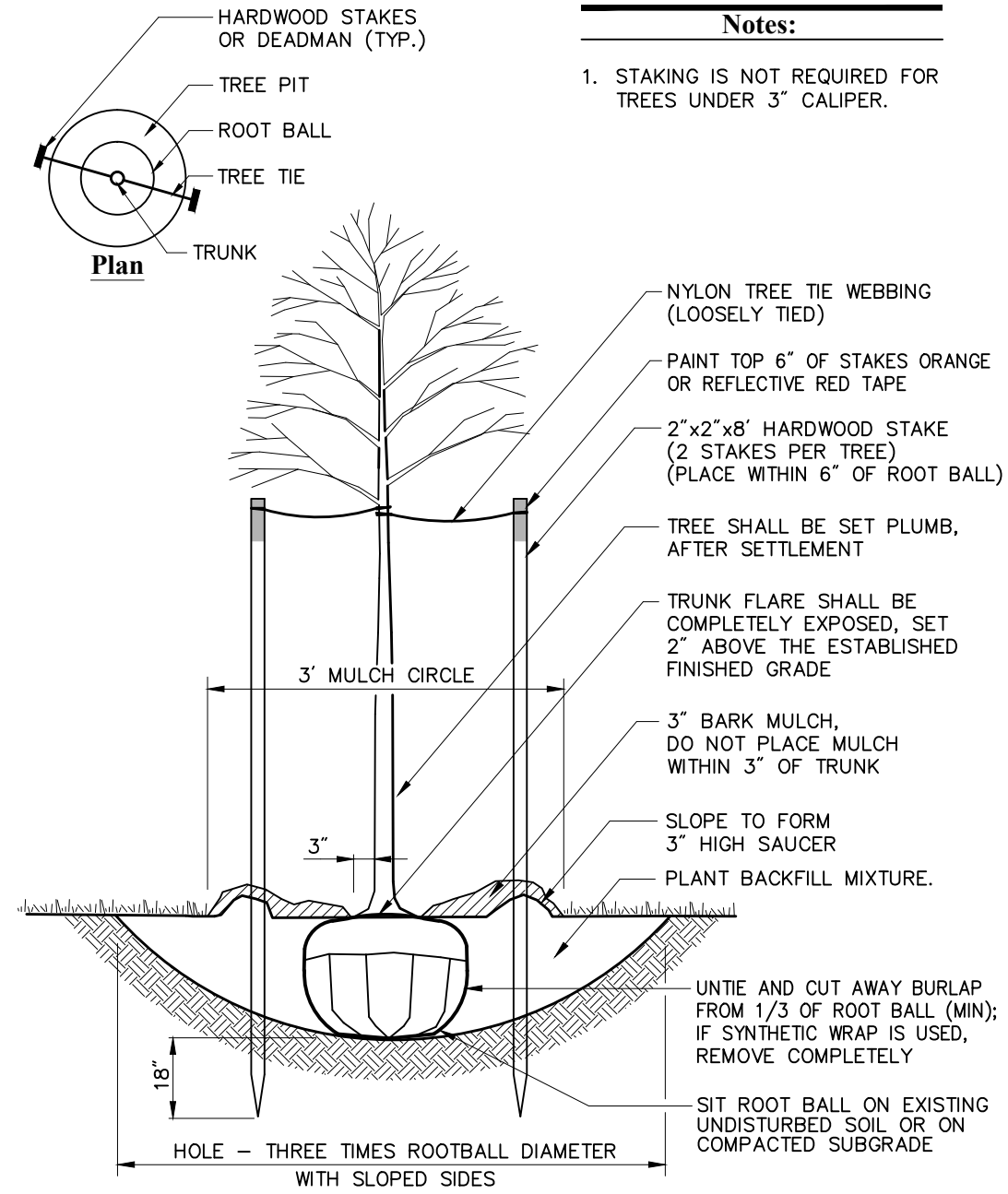


Evergreen Tree Planting 6/15
N.T.S. Source: VHB LD_604

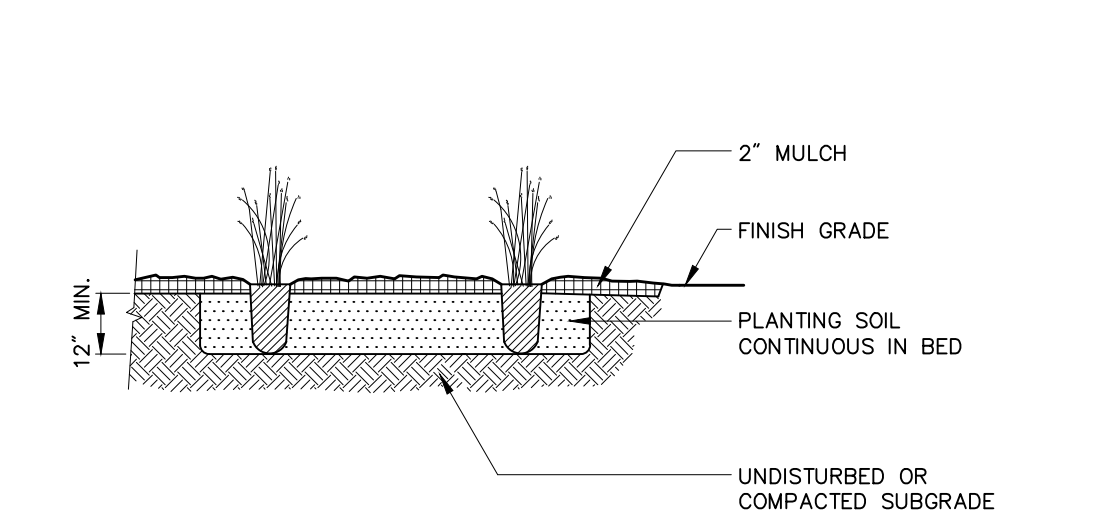
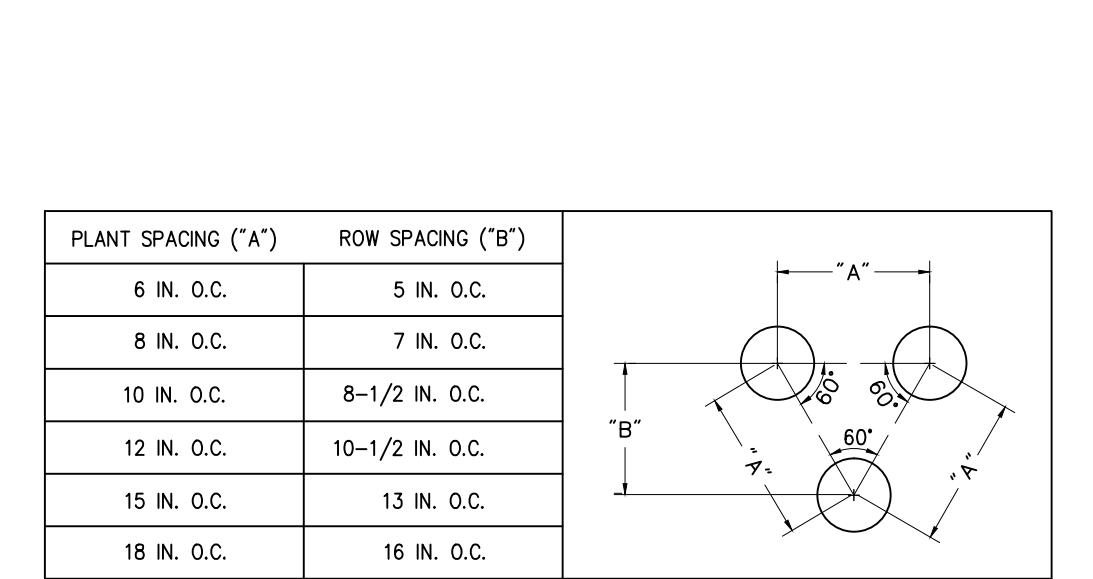


Notes:
1. INSTALL TREE PROTECTION FENCE AT THE DRIP LINE OF EXISTING TREES TO REMAIN.

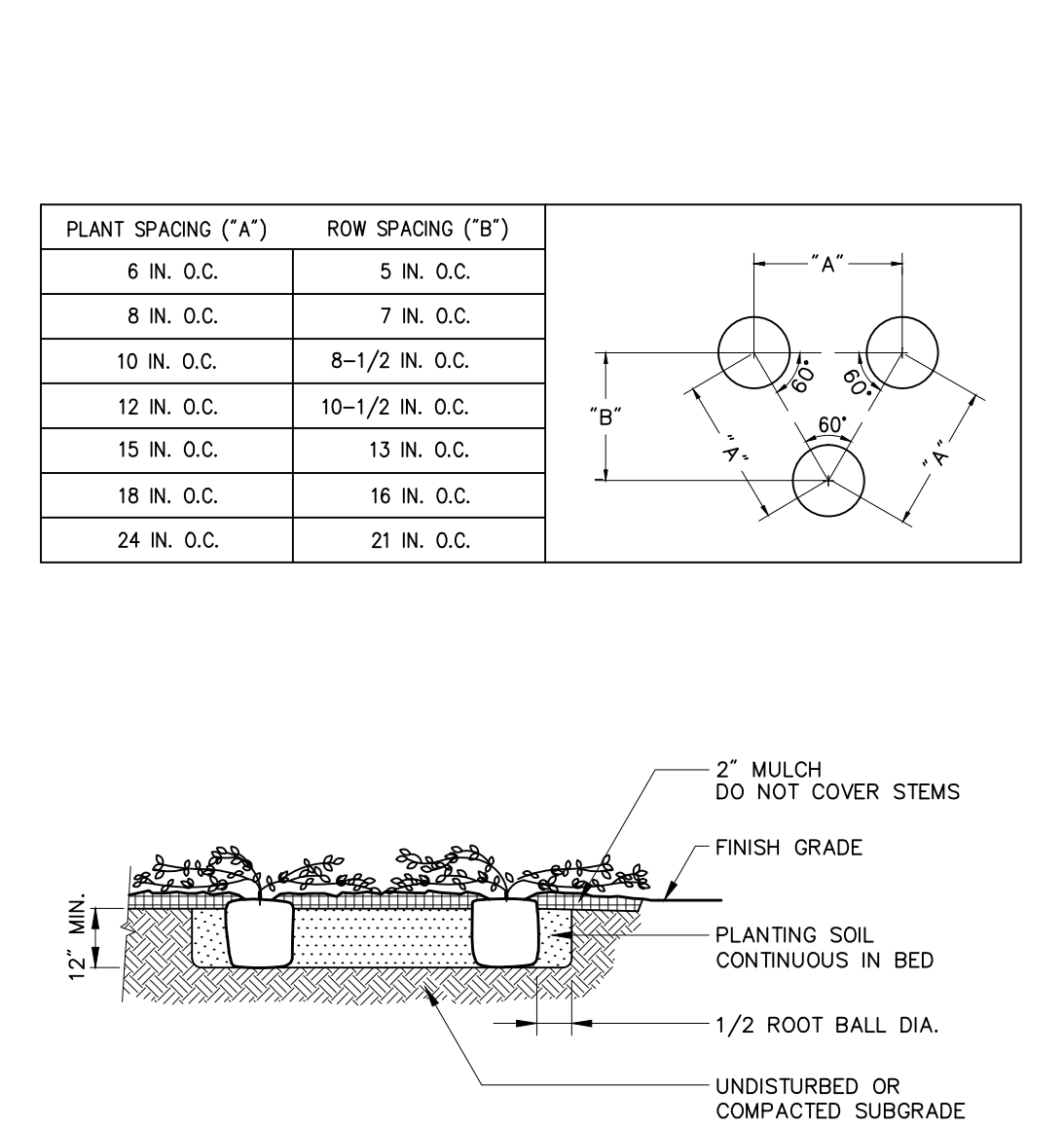
Tree Protection Fence 7/13
N.T.S. Source: VHB LD_610



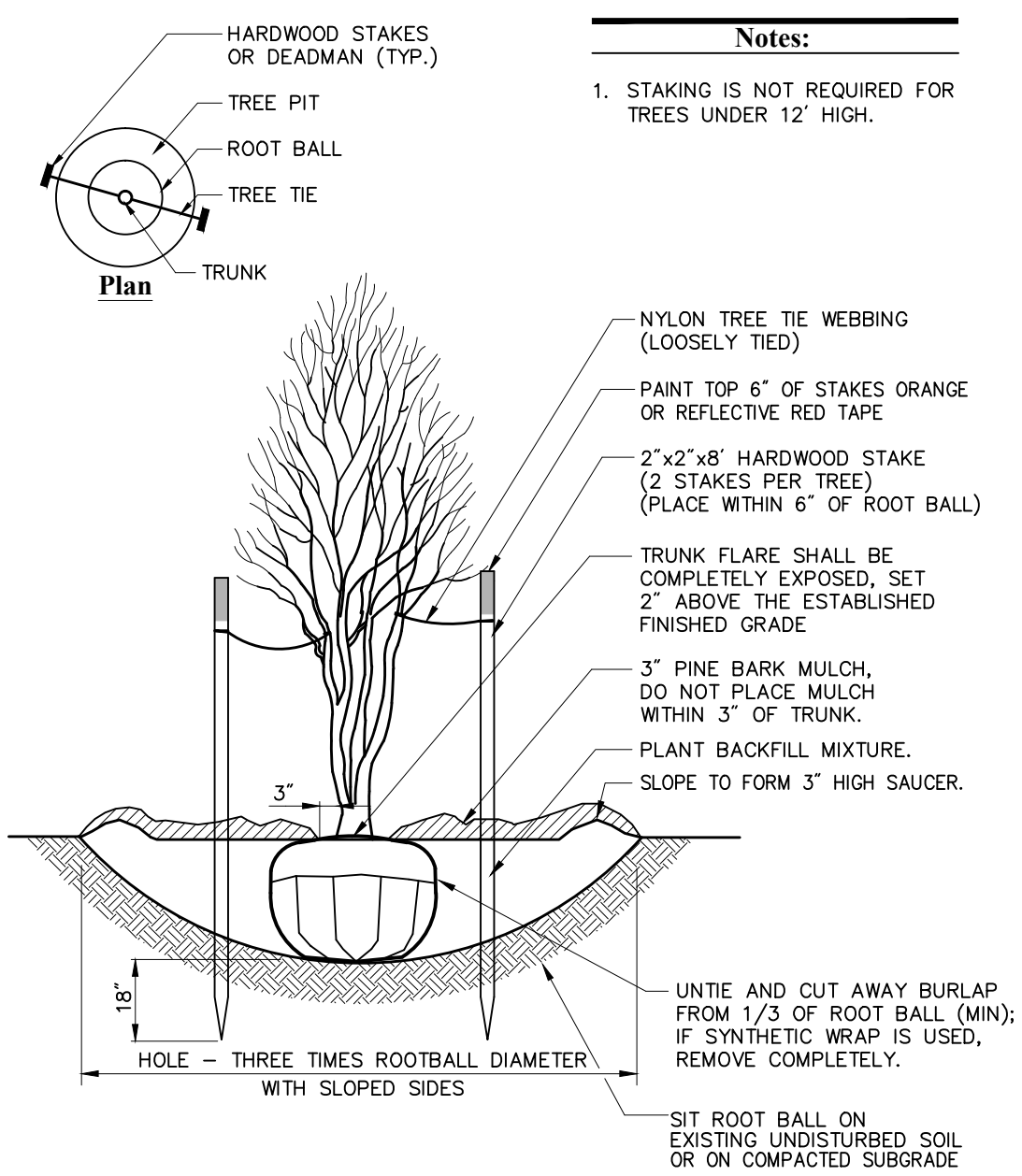
Tree Planting (For Trees Under 4\"/>



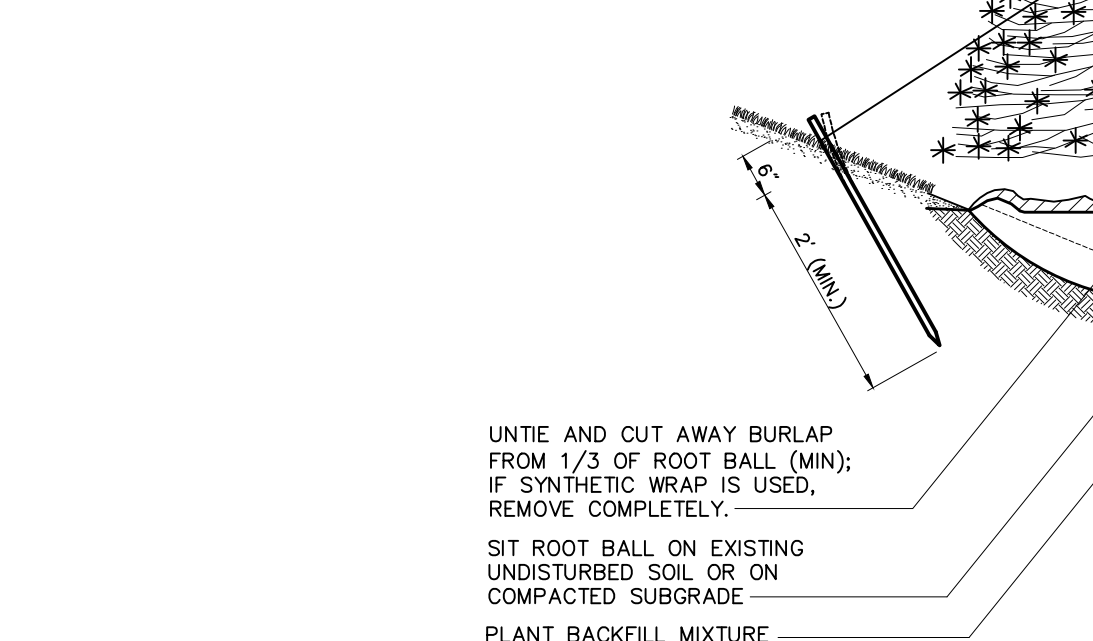
Perennial Plug Planting 11/09
N.T.S. Source: VHB LD_618



Tree Planting on Slope 6/15
N.T.S. Source: VHB LD_615



Multistem Tree Planting 6/15
N.T.S. Source: VHB LD_606



Tree Planting on Slope 1/12
N.T.S. Source: VHB LD_605

- Planting Notes**
1. ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
 3. NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNERS REPRESENTATIVE OF ANY CONFLICT.
 4. A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNERS REPRESENTATIVE.
 5. ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNERS REPRESENTATIVE.
 6. FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BEDDING.
 7. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNERS REPRESENTATIVE.
 8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
 9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
 10. AREAS DESIGNATED TO LOAN A SEED SHALL RECEIVE MINIMUM 4\"/>
 11. ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAN AND SEEDED OR MULCHED AS DIRECTED BY OWNERS REPRESENTATIVE.
 12. THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.
- Tree Protection**
1. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCE. ERECT FENCE AT EDGE OF THE TREE DRIPLINE PRIOR TO START OF CONSTRUCTION.
 2. CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION AREA.
 3. DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTORS EXPENSE.
- Plant Maintenance Notes**
1. CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.
 2. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
 3. WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
 4. WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
 5. CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.
- Special Landscape Notes**
1. CONTRACTOR SHALL SUBMIT AN IRRIGATION SYSTEM DESIGN TO THE PLANNING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
 2. MULCH TO BE PLACED IN SHRUB BEDS NO GREATER THAN 12\"/>
 3. REPLACE EXISTING SOIL IN PLANT BEDS WITH TOPSOIL TO A DEPTH OF 24\"/>
 4. REMOVE SOIL FROM STEMS OF ROOT FLARE AREA.
 5. PLANT MATERIAL TYPES, QUANTITIES AND LOCATIONS SHALL NOT BE MODIFIED EXCEPT WITH PERMISSION OF THE PLANNING BOARD, DURING INITIAL INSTALLATION.
 6. EXISTING SOIL (TOPSOIL) SHOULD BE REUSED AS MUCH AS POSSIBLE. LOAM BORROW SHOULD ONLY BE BROUGHT IN AS NEEDED. BOTH TOPSOIL AND LOAM BORROW SHOULD BE TESTED BY A UNIVERSITY AGRICULTURAL LAB, SUCH AS UMMS SOIL TESTING LAB, TO DETERMINE IF IT NEEDS AMENDMENTS. LAB SHOULD PROVIDE RECOMMENDATIONS FOR AMENDMENTS BASED UPON PLANTING TYPE, EVERGREEN, DECIDUOUS, LAWN, ETC.
 7. CONTRACTOR SHOULD FURNISH PLANTS IN QUANTITIES AS SHOWN ON PLANS, NOT SCHEDULE.
 8. REMOVE SOIL FROM TRUNK FLARES OF TREES AND STEMS OF SHRUBS TO DETERMINE ACTUAL TOP OF ROOTBALL AREA.
 9. FERTILIZE AS NEEDED PER RECOMMENDATIONS OF SOIL TESTING LAB.
 10. THERE IS A 2 YEAR GUARANTEE REQUIRED.
 11. NO PLANT MATERIAL CHANGES WITHOUT PERMISSION OF THE LANDSCAPE ARCHITECT.
 12. TREES AND SHRUBS SHALL BE B+B OR CONTAINER - NO BARE ROOT.
 13. SEEDING - LOAM AND TOPSOIL SHOULD BE 4\"/>
 14. DO NOT OVER - COMPACT PLANTING AREAS. IF AREAS BECOME COMPACTED, DISC TOP 4\"/>
 15. LOAM - OBTAIN LABORATORY TEST FOR TOPSOIL AND LOAM BORROW. ASK FOR pH (5.5 TO 6.5 PREFERRED), BUFFER pH, ORGANIC MATTER (5 TO 10%), SOLUBLE SALTS, AND SOIL TEXTURE.
 16. ADD MYCORRHIZA SPORES IN PLANT BEDS AND PITS.
 17. TREES AND SHRUBS SHALL BE TAGGED BY THE LANDSCAPE ARCHITECT.
 18. TREE PITS SHOULD BE FLOODED 3 TIMES IN SUCCESSION WITH WATER, AND EVALUATED FOR DRAINAGE CHARACTERISTICS AFTER A 24 HOUR PERIOD.
 19. CONTRACTOR SHOULD PLAN TO PROVIDE CLEAN POTABLE WATER, HOSES AND ALL EQUIPMENT TO WATER PLANTS.
 20. PLANTS SHOULD BE WATERED FROM TIME OF DELIVERY UNTIL ACCEPTANCE.
 21. USE TREEGUARDERS TO PROVIDE SLOW, DEEP WATERING FOR TREES.
 22. GENERAL CONTRACTORS TO REMOVE EXISTING INVASIVE SPECIES ON SITE (NORWAY MAPLE, BUCKTHORN, KNOTWEED, ETC.). CONTROL OF INVASIVE SPECIES SHOULD BE MONITORED THROUGH REGULAR, PERIODIC MAINTENANCE.
 23. GENERAL CONTRACTOR TO REMOVE ROOT BARRETS, BURLAP, WRAPS AND TIES ENTIRELY AND DISCARD.
 24. GENERAL CONTRACTOR TO UTILIZE STRAW FOR EROSION CONTROL.
 25. THE INTENT OF THE SHRUB PLANTINGS ARE TO GROW INTO MASSES FOR SCREENING AND VISUAL INTEREST.



FRAMINGHAM PLANNING BOARD
DEFINITIVE DEVELOPMENT PLAN APPROVALS

No.	Revision	Date	Appr.

THIS ENDORSEMENT OF THE PLANNING BOARD
SHOULD NOT BE CONSTRUED TO BE
DETERMINATION OF CONFORMANCE WITH
ZONING REGULATIONS.

Northside Meadows: Assisted Living Facility

518 Pleasant Street
Framingham, Massachusetts

No.	Revision	Date	Appr.

Designed by: _____ Checked by: _____
Issued for: _____ Date: _____

Local Approvals April 15, 2016

Not Approved for Construction

Drawing Title
Planting Details

Drawing Number

MASSACHUSETTS
SEAL OF THE
LANDSCAPE ARCHITECT
No. 696
04.26.16

L-1.2

Sheet 2 of 2

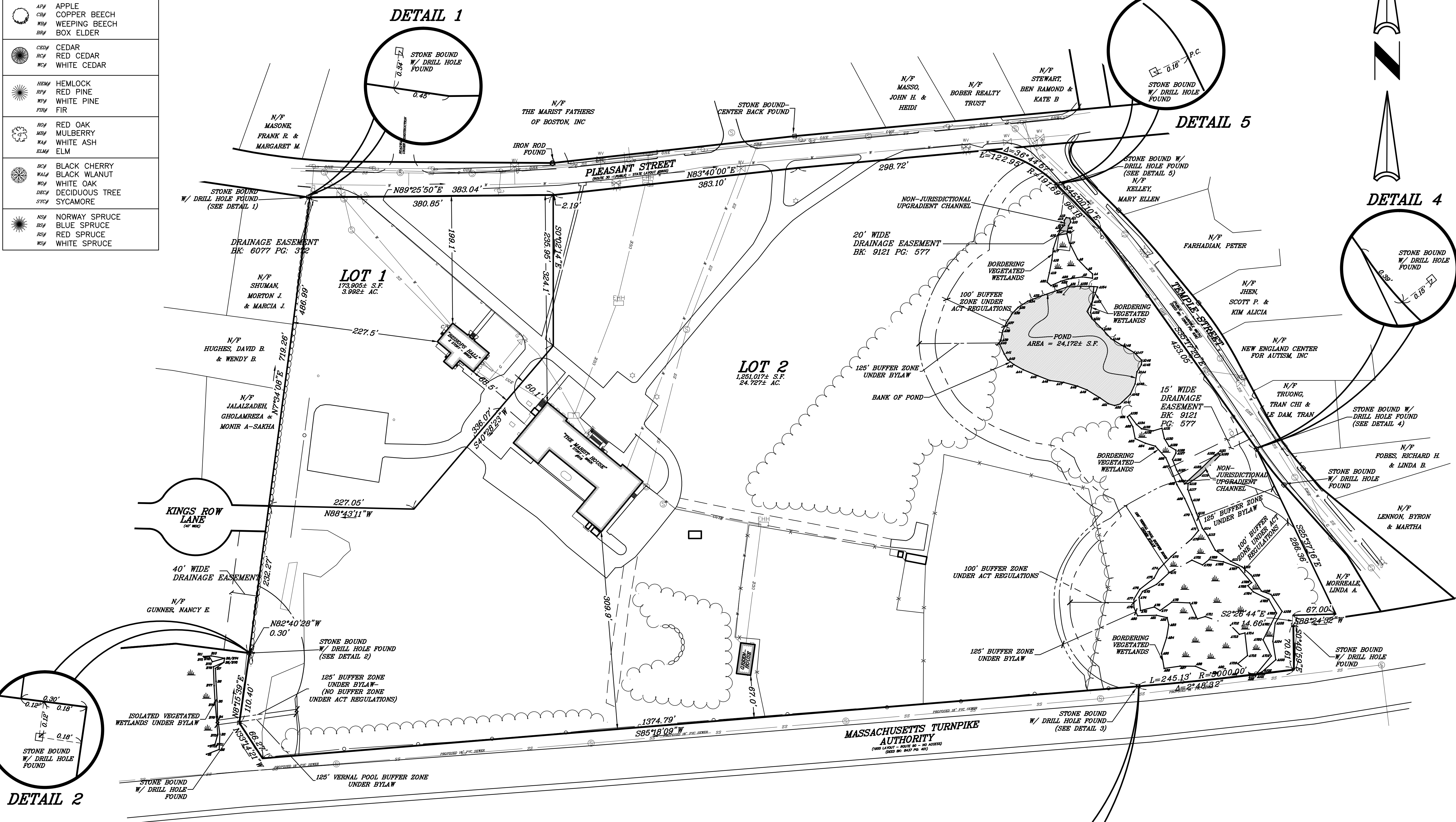
Project Number
13168.00

TREE LEGEND

TYPE/SIZE IN # INCHES	
NMA	NORWAY MAPLE
HKA	HICKORY
RAM	RED MAPLE
SM	SUGAR MAPLE
APA	APPLE
CB	COPPER BEECH
WB	WEeping BEECH
BE	BOX ELDER
CE	CEDAR
RE	RED CEDAR
WE	WHITE CEDAR
HE	HEMLOCK
RP	RED PINE
WP	WHITE PINE
FR	FIR
RO	RED OAK
MB	MULBERRY
WA	WHITE ASH
EL	ELM
BC	BLACK CHERRY
BL	BLACK WALNUT
WO	WHITE OAK
DT	DECIDUOUS TREE
SY	SYCAMORE
NS	NORWAY SPRUCE
BS	BLUE SPRUCE
RS	RED SPRUCE
WS	WHITE SPRUCE

LEGEND

	CATCH BASIN
	DRAIN MANHOLE
	DRAIN LINE
	SANITARY SEWER
	SEWER MANHOLE
	WATER VALVE
	WATER LINE
	GAS LINE
	GAS METER
	GAS VALVE
	CHAINLINK FENCE
	WOOD FENCE
	TREE LINE
	UTILITY POLE
	LIGHT POLE
	ELECTRIC TRANSFORMER
	AIR CONDITIONING UNIT
	ELECTRIC HANDHOLE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	SIGN
	WETLAND SYMBOL
	WETLAND FLAG
	WETLAND LINE
	BITUMINOUS CONCRETE
	VERTICAL GRANITE CURB
	EDGE OF PAVEMENT
	BITUMINOUS CONCRETE CURB
	CAPE COD BERM
	HYDRANT
	WATER VALVE
	ELECTRIC METER
	WIRE FENCE
	CONTOUR LINE (MNR)
	CONTOUR LINE (MJR)
	SPOT GRADE
	WETLAND FLAG



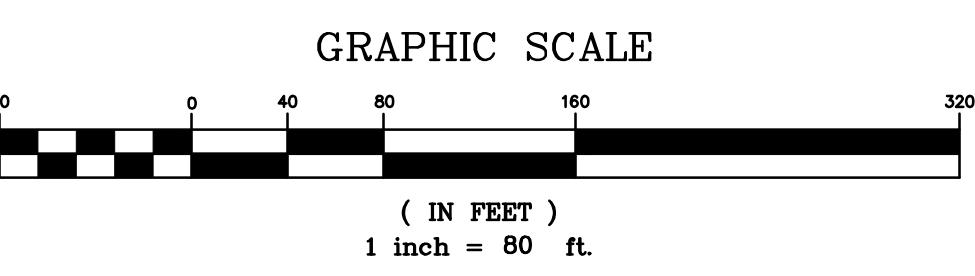
DETAIL 2

DETAIL 3

DETAIL 5

DETAIL 4

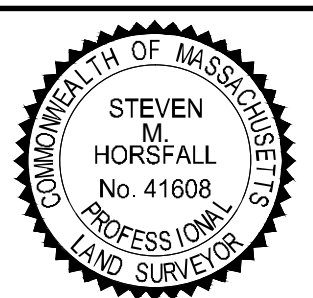
DETAIL 1



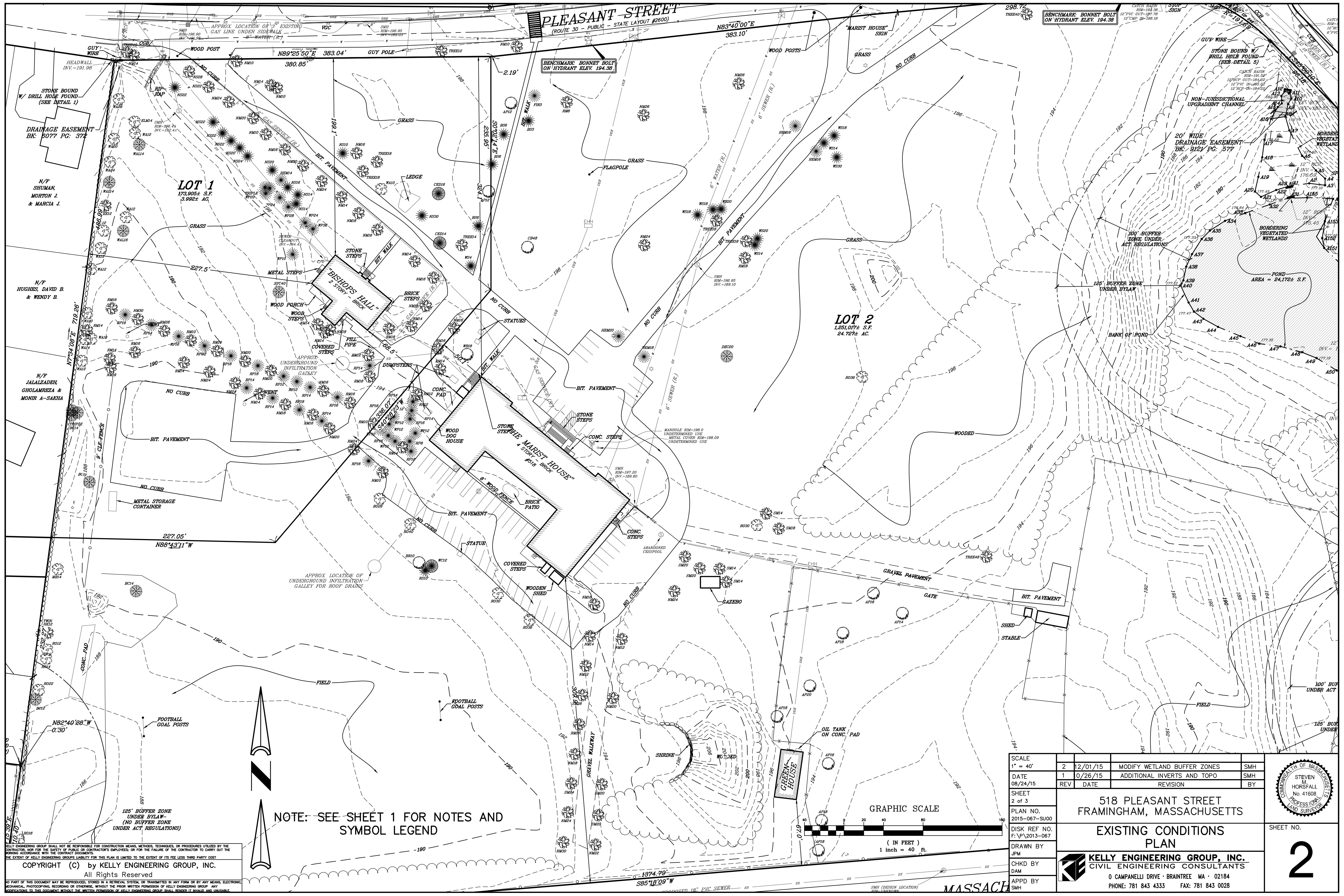
NOTES:

- 1.) UNDERGROUND FEATURES HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND KELLY ENGINEERING GROUP, INC. DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO KELLY ENGINEERING GROUP, INC. THE SIZE, LOCATION, AND EXISTENCE OF ALL SUCH FEATURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
- 2.) THE SITE DETAIL AND SURFACE IMPROVEMENTS DEPICTED HEREBY WERE OBTAINED BY A FIELD SURVEY OF THE PROPERTY BY KELLY ENGINEERING GROUP, INC.
- 3.) THE ELEVATIONS SHOWN HEREBY ARE BASED ON NGVD OF 1929.
- 4.) WETLANDS WERE DELINEATED BY ECOTEC, INC. IN APRIL OF 2013.

SCALE 1" = 80'	2	12/01/15	MODIFY WETLAND BUFFER ZONES	SMH
DATE 08/24/15	REV	DATE	ADDITIONAL INVERTS AND TOPO	SMH
SHEET 1 of 3			REVISION	BY
PLAN NO. 2015-067-SU00				
DISK REF NO. F:\P\2015-067				
DRAWN BY JPM				
CHKD BY DAM				
APPD BY SMH				
518 PLEASANT STREET FRAMINGHAM, MASSACHUSETTS				
EXISTING CONDITIONS PLAN - OVERALL				
KELLY ENGINEERING GROUP, INC. CIVIL ENGINEERING CONSULTANTS 0 CAMPANELLI DRIVE • BRAINTREE, MA • 02184 PHONE: 781 843 4333 FAX: 781 843 0028				
SHEET NO. 1				



KELLY ENGINEERING GROUP SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF THE CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THE EXTENT OF KELLY ENGINEERING GROUP'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COST.
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SCALE	1" = 40'	2	12/01/15	MODIFY WETLAND BUFFER ZONES	SMH
DATE	08/24/15	1	0/26/15	ADDITIONAL INVERTS AND TOPO	SMH
REV				REVISION	BY
SHEET	2 of 3				
PLAN NO.	2015-067-SU00				
DISK REF NO.	F:\P\2013-067				
DRAWN BY	JPM				
CHKD BY	DAM				
APPD BY	SMH				
518 PLEASANT STREET FRAMINGHAM, MASSACHUSETTS					
EXISTING CONDITIONS PLAN					
KELLY ENGINEERING GROUP, INC. CIVIL ENGINEERING CONSULTANTS 0 CAMPANELLI DRIVE • BRAINTREE MA • 02184 PHONE: 781 843 4333 FAX: 781 843 0028					

COMMONWEALTH OF MASSACHUSETTS
STEVEN M. HORSFALL
No. 41608
PROFESSIONAL LAND SURVEYOR

SHEET NO.
2





STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
COURTYARD	+	3.0 fc	17.3 fc	0.0 fc	N / A	N / A
OVERFLOW	×	0.1 fc	17.7 fc	0.0 fc	N / A	N / A
PARKING	+	1.5 fc	17.6 fc	0.0 fc	N / A	N / A
REAR ACCESS DRIVE	+	1.6 fc	6.9 fc	0.0 fc	N / A	N / A



SCALE: 1" = 40'-0"

SUBJECT: SITE LIGHTING PHOTOMETRIC PLAN
SCALE: 1" = 40'-0"
DATE: 1/5/16

161 FEDERAL HILL ROAD
HOLLIS, NEW HAMPSHIRE 03049
603•465•6960 FAX 465•6961

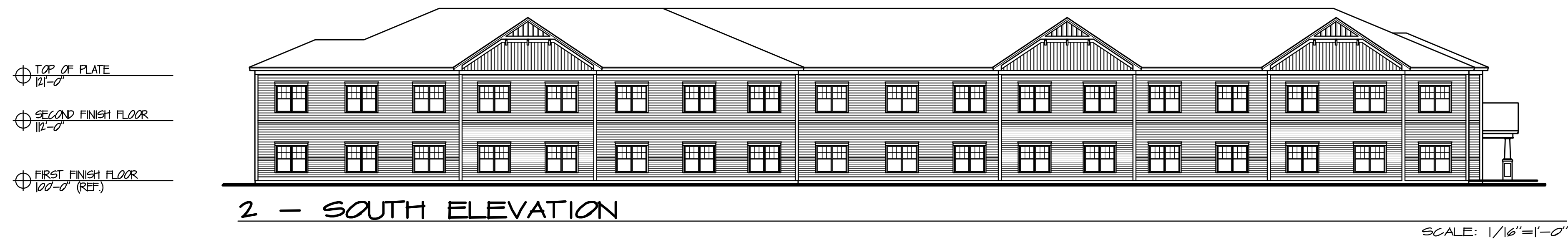
SHEET NO.:

PH.01



1 - WEST ELEVATION

SCALE: 1/16"=1'-0"



2 - SOUTH ELEVATION

SCALE: 1/16"=1'-0"



3 - EAST ELEVATION

SCALE: 1/16"=1'-0"



4 - NORTH ELEVATION

SCALE: 1/16"=1'-0"



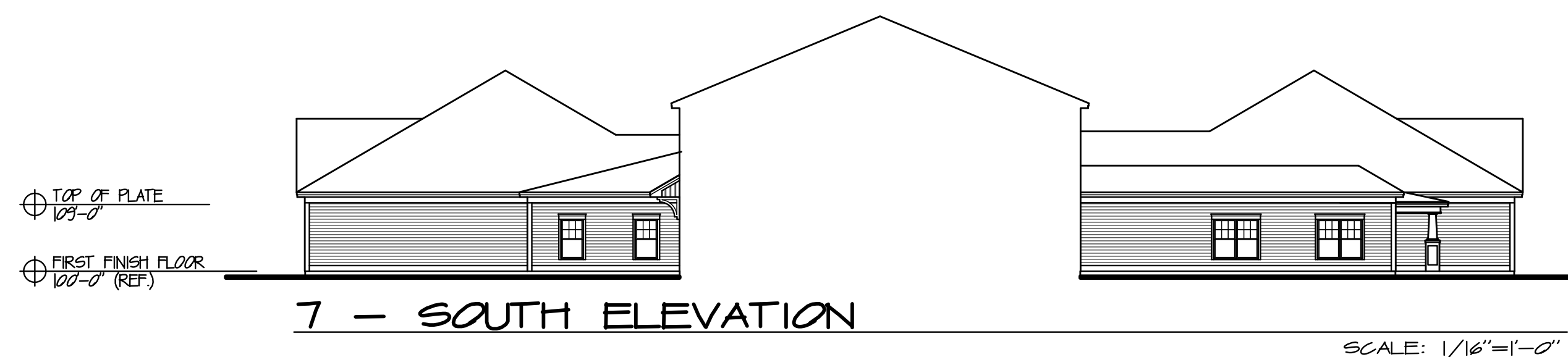
5 - NORTH ELEVATION

SCALE: 1/16"=1'-0"



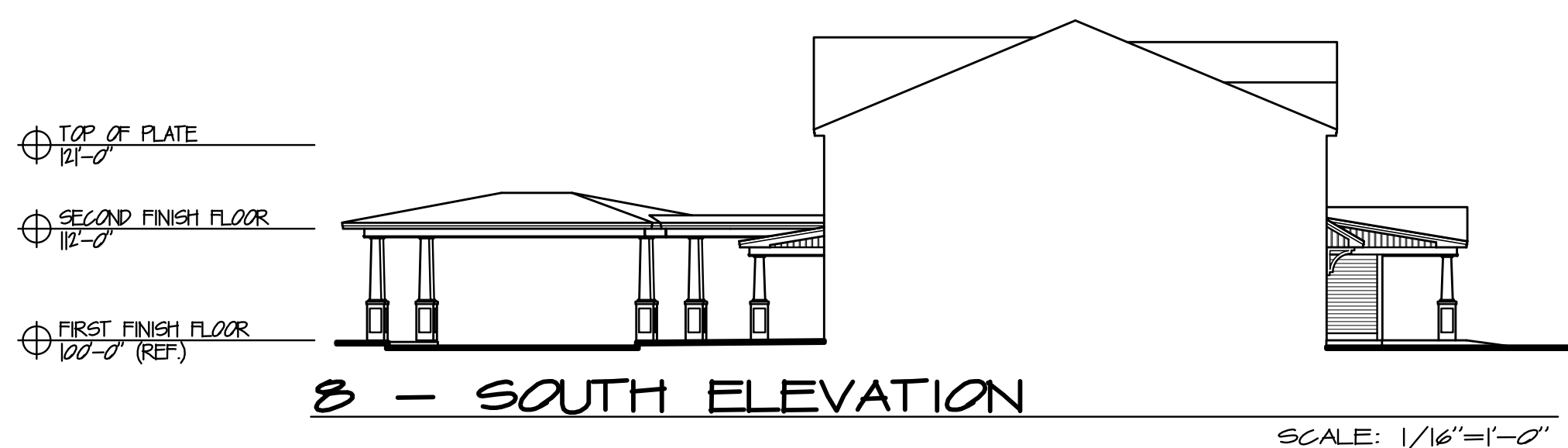
6 - NORTH ELEVATION

SCALE: 1/16"=1'-0"



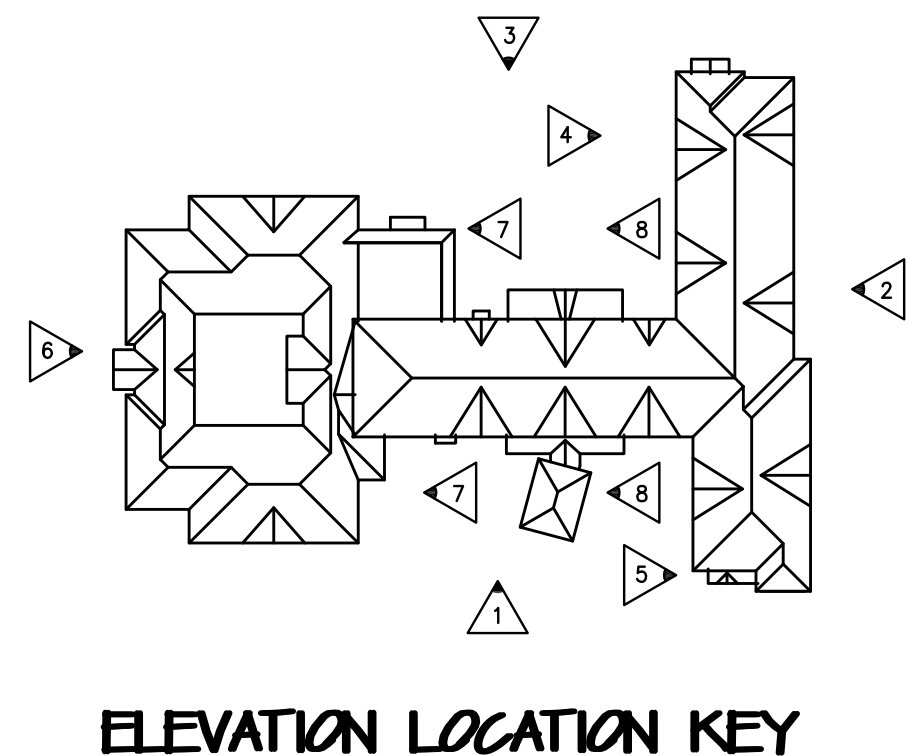
7 - SOUTH ELEVATION

SCALE: 1/16"=1'-0"



8 - SOUTH ELEVATION

SCALE: 1/16"=1'-0"



ELEVATION LOCATION KEY

REV. NO.	REVISIONS	DATE

PROJECT:	BENCHMARK SENIOR LIVING FRAMINGHAM, MASSACHUSETTS
SUBJECT:	EXTERIOR ELEVATIONS
SCALE:	1/16"=1'-0"
DATE:	04/18/16

U DELSMAN ASSOCIATES ARCHITECTURE • PLANNING • DESIGN	161 FEDERAL HILL ROAD HOLLIS, NEW HAMPSHIRE 03049 603-465-6960 FAX 465-6961
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PROJECT NO.: 1525

SHEET NO.: A4

DELSMAN ASSOCIATES, 2015

